



Proposed Photomontage

Proposed for Boarding house (8 rooms)

Address: 75 Graham St, Berala NSW 2141

Layout Index

Layout No:	Layout Name	Rev	Date
A.0001	Cover Sheet	E	07.11.16
A.0501	Site Information		"
A.0502	Site Analysis Plan		"
A.0503	Shadow Diagrams		"
A.1001	Site Plan		"
A.1201	Surveyor Drawing		"
A.2001	Grould Floor Plan		"
A.2002	First Floor Plan		"
A.3001	Elevations		"
A.3002	Elevations		"
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No	DATE	AMENDMENT
A	20.04.16	Issue for client's review: (as draft)
B	31.05.16	Issue for DA issue only
C	20.10.16	Issue for DA issue only
D	30.10.16	Issue for DA issue only
E	01.11.16	Issue for DA issue only

NOTE:

1. RUBBER FRAMING AND WIND BRACING TO COMPLY WITH ALL LBA AND TO NEW RUBBER FRAMING MANUAL ADVISED TO USE WIND TIGHTENING CATEGORY.
2. PROVIDE CORRECT TENSILE MEMBER SYSTEM TO AS TAIL.
3. SELECTED WINDOWS AND DOORS TO BE DISASSEMBLED WIND TIGHTENING CATEGORY.
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.
5. DO NOT SCALE THE DRAWINGS. USE REQUIRED DIMENSIONS.
6. CHECK ALL DIMENSIONS ON THE DRAWINGS INDICATING ANY BOLD.
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PROJECT

Proposed Boarding House

SITE:

75 Graham Street

#Site Full Address 2141

CLIENT:

Complete Food Consultants

DRAWING TITLE:

Cover Sheet

DRAWN

JK.

PROJECT NO.

BG_75

DATE

28.06.15

DRAWING NO.

A.0001

STATUS: **Notes**

DA

SCALE:

1:1

REVISION

E

ARCHITECTURE

INTERIORS

SUSTAINABLE

Prepared by

C3archi

ci3archi@gmail.com

CiS Archi





Auburn Local Environmental Plan 2010

Land Zoning Map - Sheet LZN_003

Zone

- B1 Neighbourhood Centre
- B2 Local Centre
- B4 Mixed Use
- B6 Enterprise Corridor
- B7 Business Park
- E2 Environmental Conservation
- IN1 General Industrial
- IN2 Light Industrial
- R2 Low Density Residential**
- R3 Medium Density Residential
- R4 High Density Residential
- RE1 Public Recreation
- RE2 Private Recreation
- SP1 Special Activities
- SP2 Infrastructure
- W1 Natural Waterways
- DM Deferred Matter
- MD SEPP (Major Development) 2005

Cadastre

Cadastre 25/05/2010 © Land and Property Information (LPI)



2010 No 616

Clause 2.8 Auburn Local Environmental Plan 2010

Part 2 Land Use Table

State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007
State Environmental Planning Policy (Rural Lands) 2008
State Environmental Planning Policy No 33—Hazardous and Offensive Development
State Environmental Planning Policy No 50—Canal Estate Development
State Environmental Planning Policy No 62—Sustainable Aquaculture
State Environmental Planning Policy No 64—Advertising and Signage

Zone R2 Low Density Residential

1 Objectives of zone

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

2 Permitted without consent

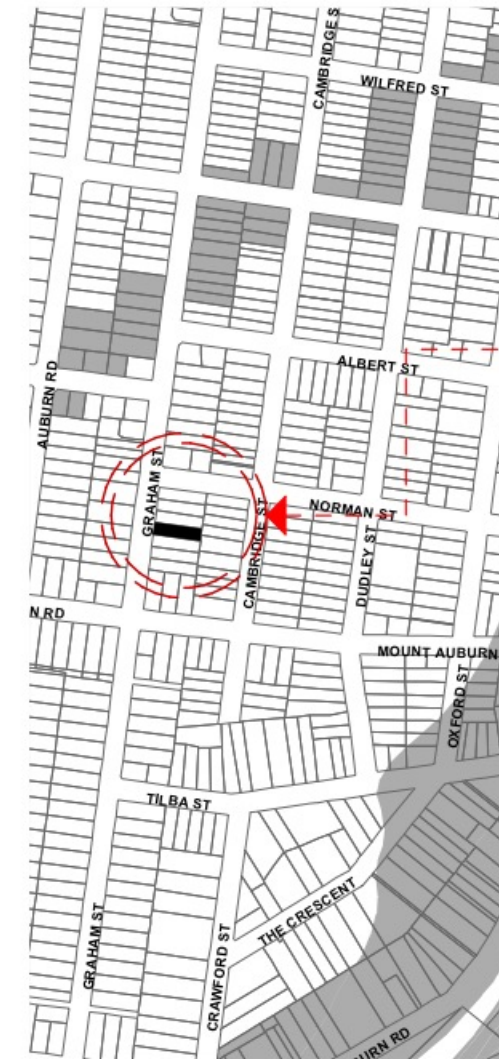
Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Dual occupancies; Dwelling houses; Group homes; Neighbourhood shops; Roads; Semi-detached dwellings; Any other development not specified in item 2 or 4

4 Prohibited

Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Boat building and repair facilities; Boat sheds; Camping grounds; Car parks; Caravan parks; Cemeteries; Charter and tourism boating facilities; Commercial premises; Correctional centres; Crematoria; Depots; Eco-tourist facilities; Electricity generating works; Entertainment facilities; Environmental facilities; Exhibition villages; Extractive industries; Farm buildings; Forestry; Freight transport facilities; Function centres; Heavy industrial storage establishments; Highway service centres; Home occupations (sex services); Industrial retail outlets; Industrial training facilities; Industries; Information and education facilities; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Passenger transport facilities; Port facilities; Recreation facilities (major); Registered clubs; Research stations; Residential accommodation; Restricted premises; Rural industries; Service stations; Sewerage systems; Sex services premises; Signage; Storage premises; Tourist and visitor accommodation; Transport depots; Vehicle body repair workshops;



DA Issue only
not to use for construction issue.

Flood Planning Map - Sheet FLD_003

Flood Planning Land

Flood Planning Area

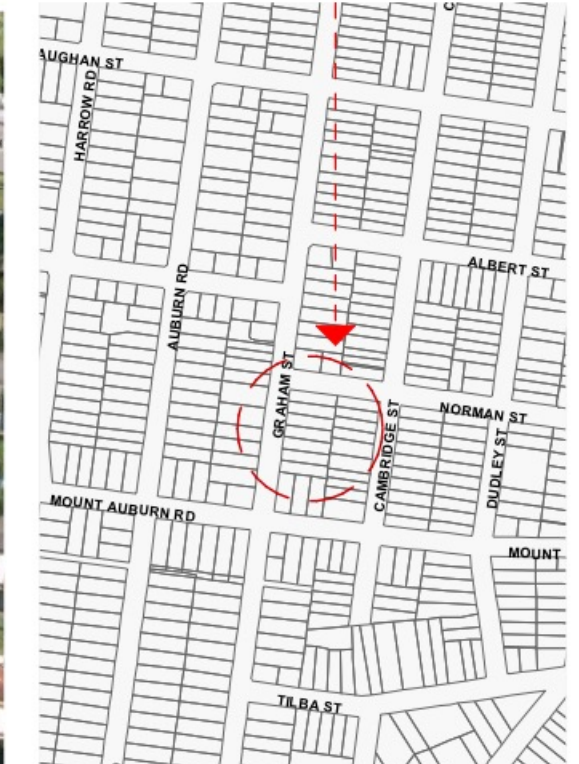
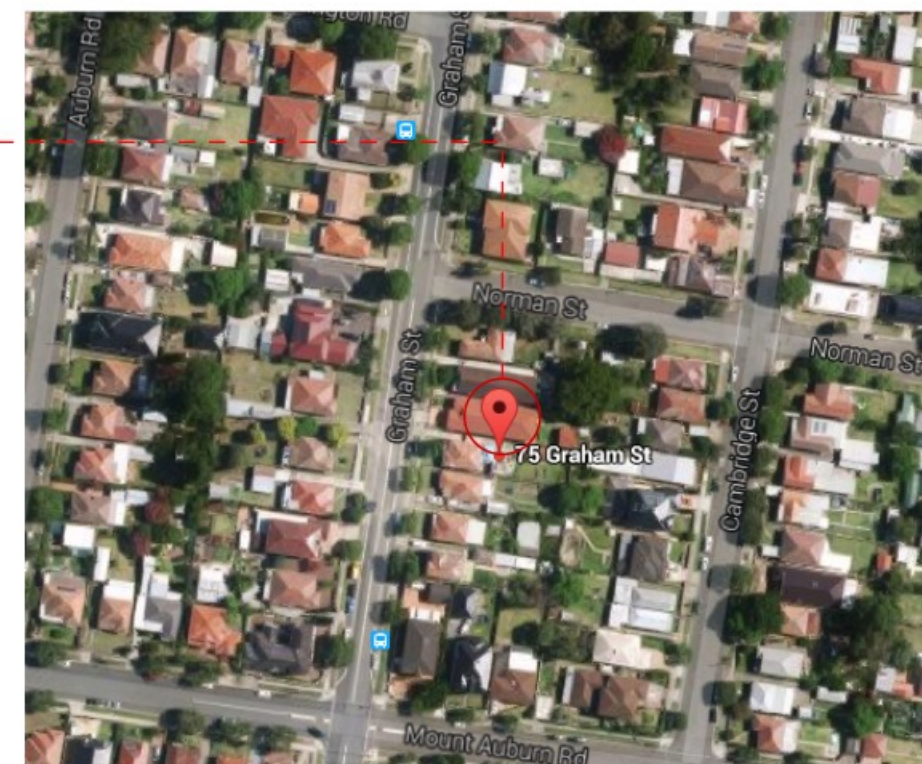
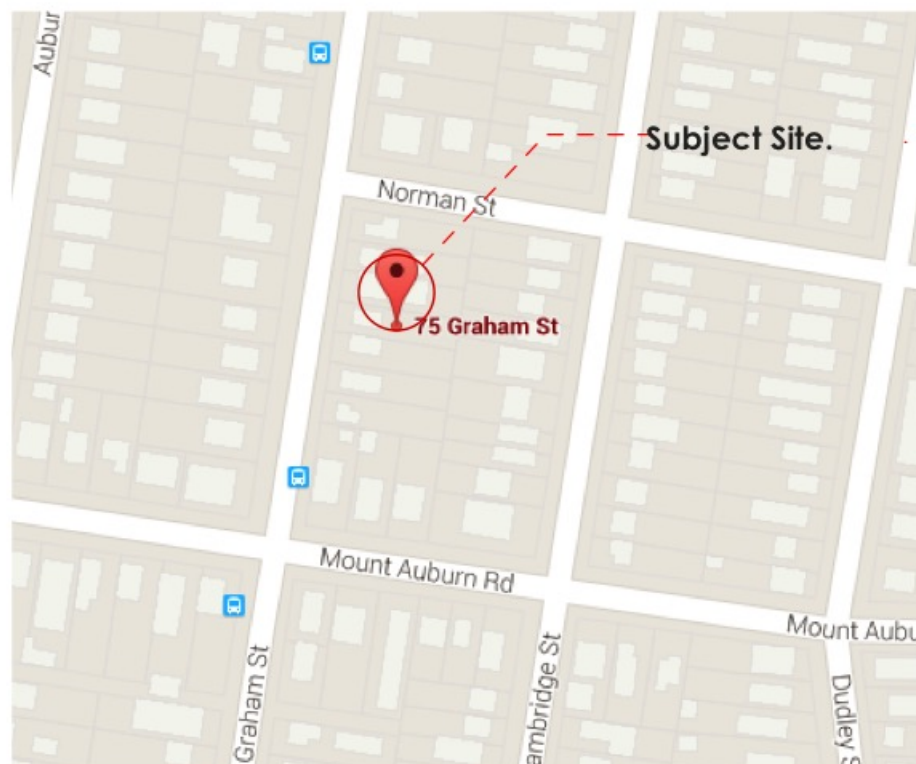
Cadastre

Cadastre 25/05/2010 © Land and Property Information (LPI)

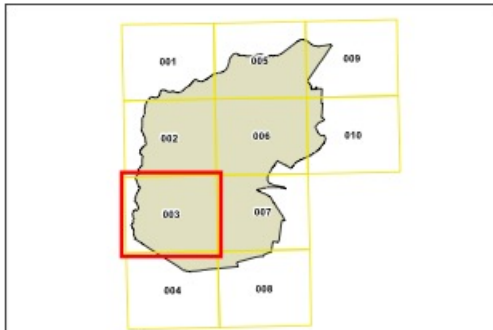
Acid Sulfate Soils Map - Sheet ASS_003

Acid Sulfate Soils

- 1 Class 1
- 2 Class 2
- 3 Class 3
- 4 Class 4
- 5 Class 5



Locality plan.



No	DATE	AMENDMENT
A	20.04.16	Issue for client's review: (as draft)
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E	01.11.16	Issue for DA issue only

NOTE:

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2. PROVIDE CORRECT TERNAL NUMBER SYSTEM TO AS TERNAL.
3. SUGGESTED WINDOWS AND DOORS TO SET CORRECTED WIND TERNAL CATEGORY.
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.
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PROJECT

Proposed Boarding House

SITE:

75 Graham Street
#Site Full Address 2141

CLIENT:

Complete Food Consultants

DRAWING TITLE:

Site Information

DRAWN	DATE	SCALE:
JK.	28.06.15	
PROJECT NO.	DRAWING NO.	REVISION
BG_75	A.0501	E

STATUS: Notes

DA

ARCHITECTURE

INTERIORS

SUSTAINABLE

Prepared by
C3 Archi
ci3archi@gmail.com



Site Information

- A. SITE : 75 Graham St., Berala, New South Wales 2144
LOT D DP 339117
- B. ZONING : R2 - Low Density Residential
- Refer to Clause 4.4(2A)
(Auburn Local Environmental Plan 2010)
- C. SITE AREA : 525.5 m² approx



SITE PHOTO C

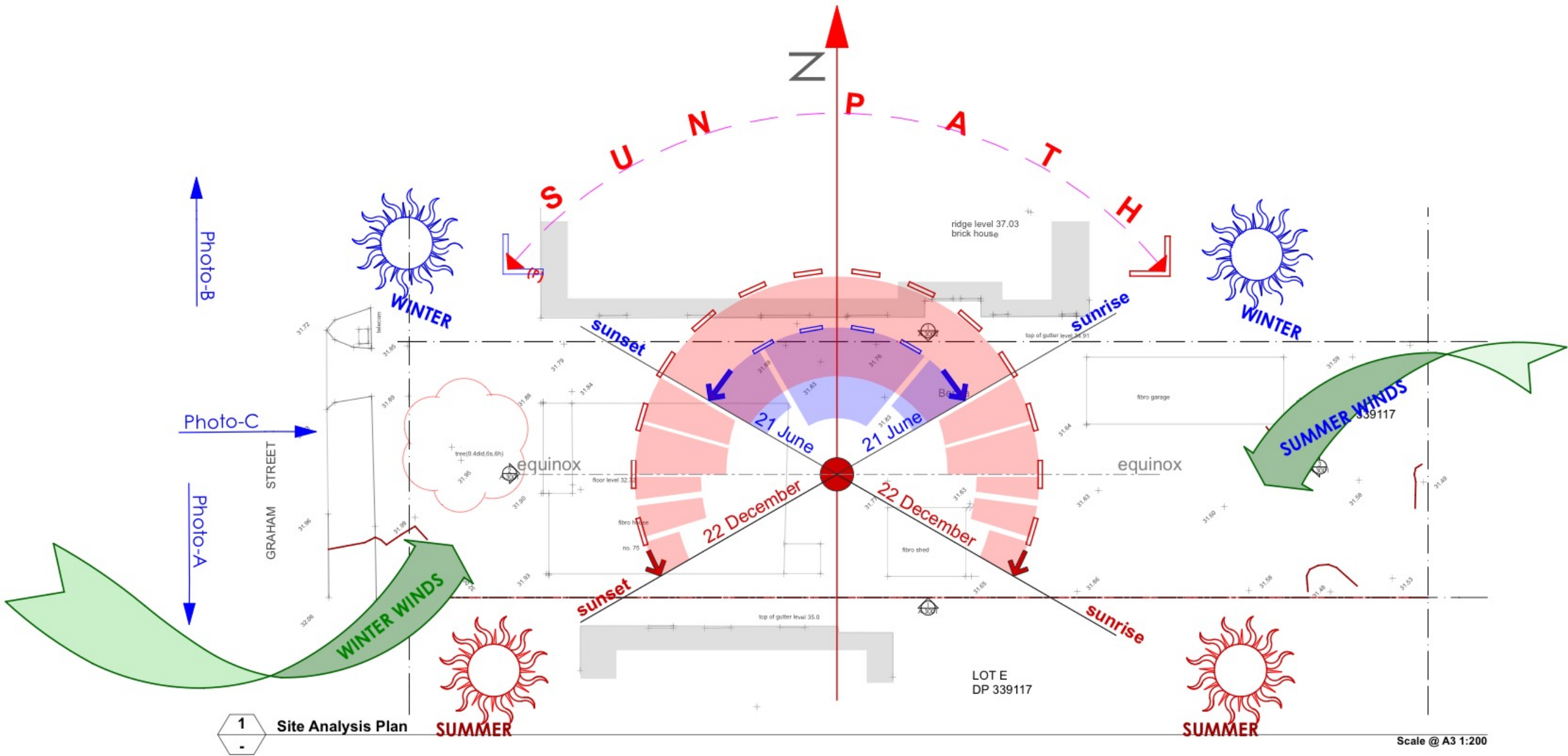


SITE PHOTO B



SITE PHOTO A

DA Issue only
or construction issue.



1
-

Site Analysis Plan

SUMMER

SUMMER

Scale @ A3 1:200

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2. PROVIDE CORRECT TUBER NUMBER SYSTEM TO AS 3602.

3. SELECTED WINDOWS AND DOORS TO SET DESIGNATED WIND TIERING CATEGORY.

4. ALL SITE CONSTRUCTION INCLUDING STOPS TO BE COMPLETED AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.

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CLIENT:
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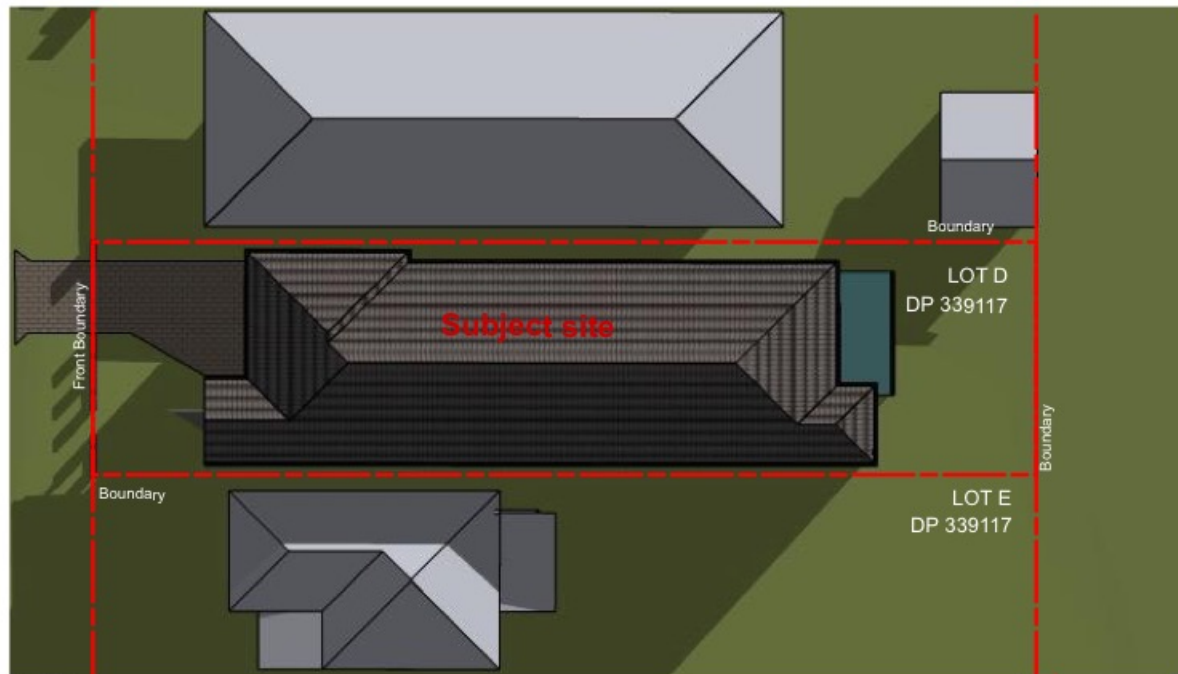
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Site Analysis Plan	DA	
DRAWN	DATE	SCALE:
JK.	28.06.15	1:200
PROJECT NO.	DRAWING NO.	REVISION
BG_75	A.0502	E

ARCHITECTURE
INTERIORS
SUSTAINABLE

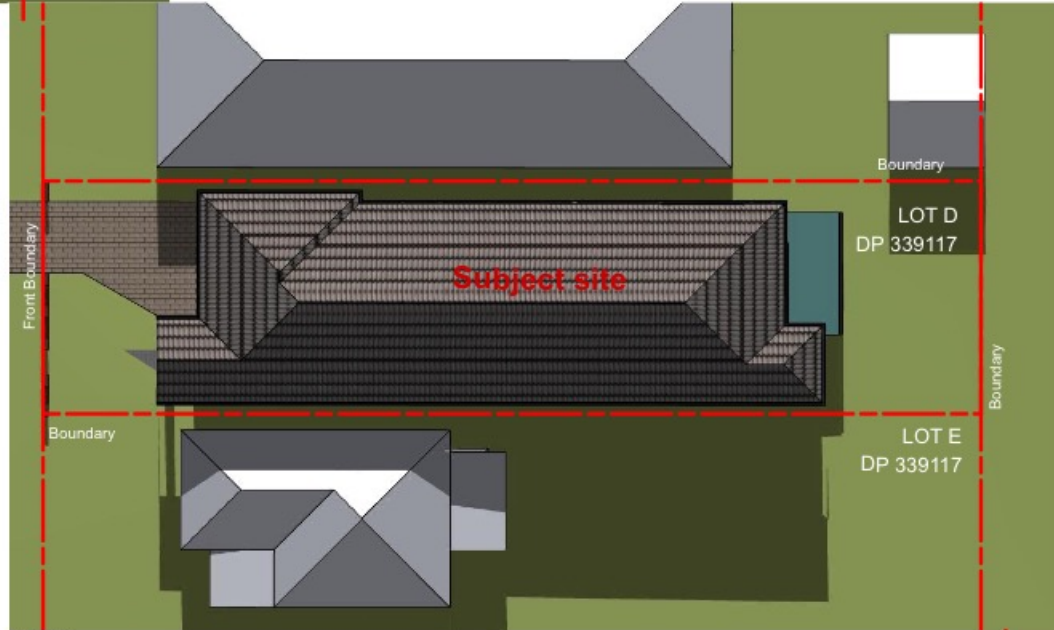
Prepared by
C3archi
ci3archi@gmail.com

CiS Archi

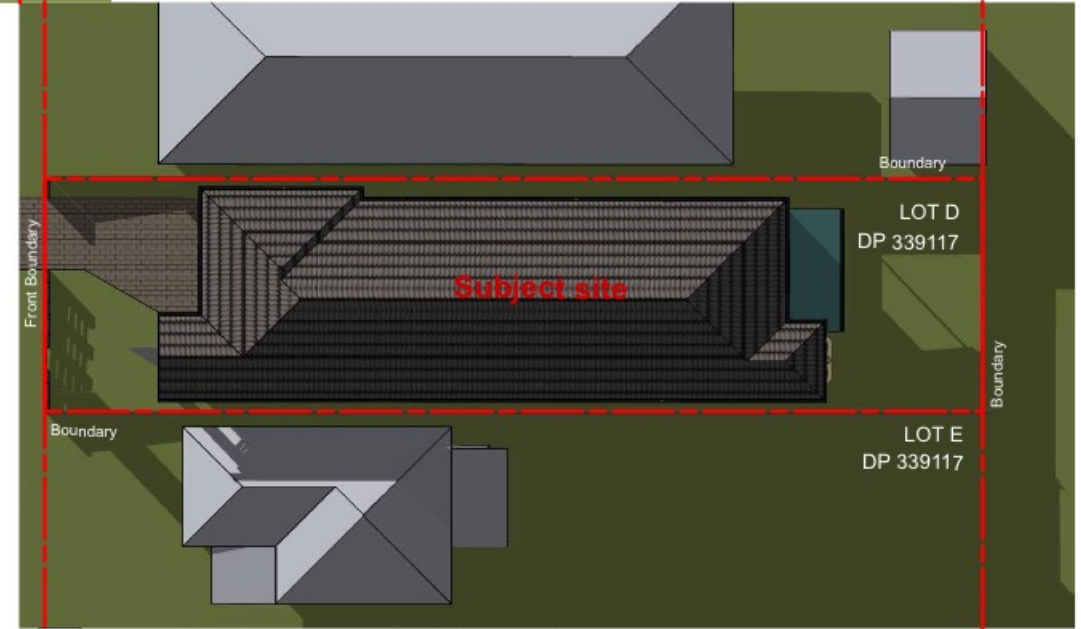




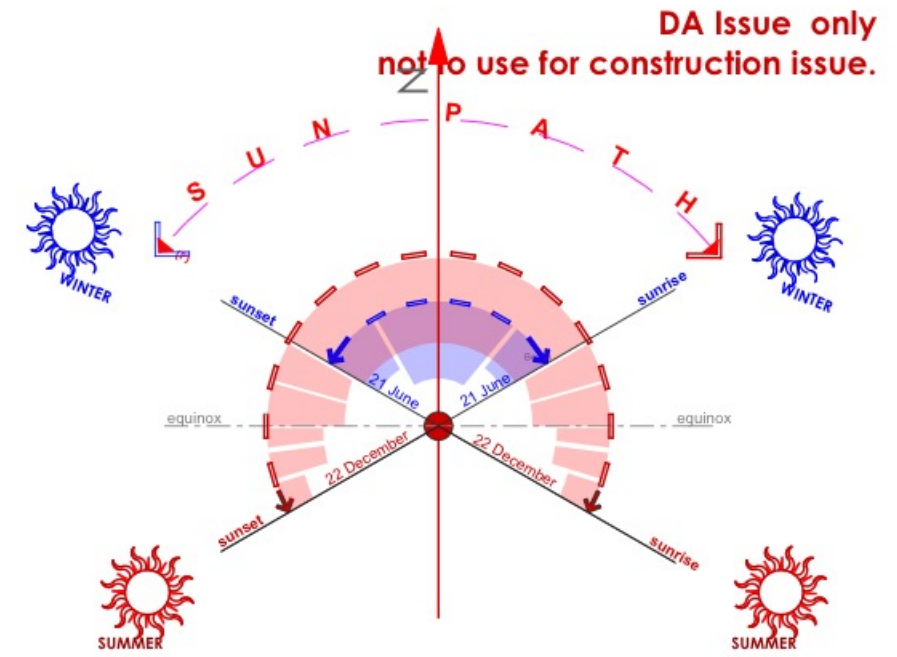
1 Shadow diagram 9:00 AM (21st of Jun)



2 Shadow diagram 12:00 PM (21st of Jun)



3 Shadow diagram 3:00 PM (21st of Jun)



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Proposed Boarding House
SITE:
75 Graham Street
#Site Full Address 2141
CLIENT:
Complete Food Consultants



DRAWING TITLE:		STATUS:	Notes	ARCHITECTURE
Shadow Diagrams		DA		INTERIORS
DRAWN	DATE	SCALE:		
JK.	28.06.15	1:159.69, 1:303.03		
PROJECT NO.	DRAWING NO.	REVISION		
BG_75	A.0503	E		



Site Information

A. SITE : 75 Graham St., Berala, New South Wales 2144
LOT D DP 339117

B. ZONING : R2 - Low Density Residential
- Refer to Clause 4.4(2A)
(Auburn Local Environmental Plan 2010)

C. SITE AREA : 525.5 m² approx.

D. Site coverage :
310 m² / 525.5 = 0.59

E. Proposed floor area.
- Ground Floor
- Garage: 47m²
- Rooms & hall: 193 m²
Total area : 240 m²

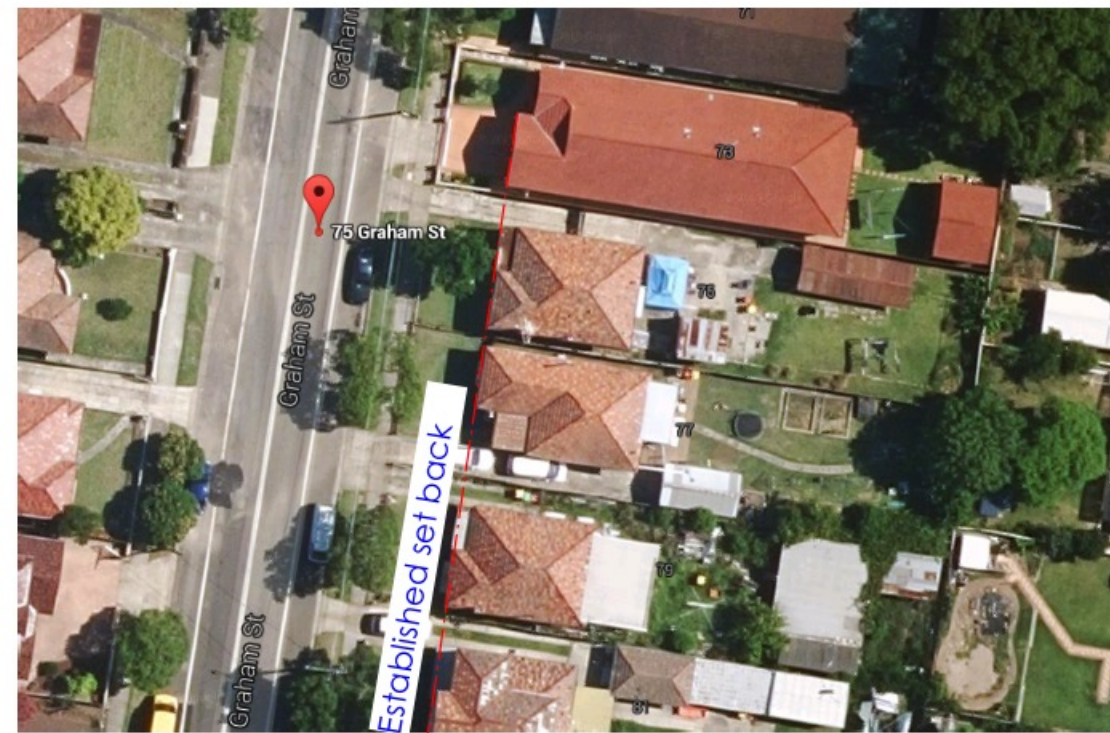
- First Floor
- rooms, hall & stairs
Total : 202 m²

- Total floor area
- 395 m² (without garage)
- 442 m² (with garage)

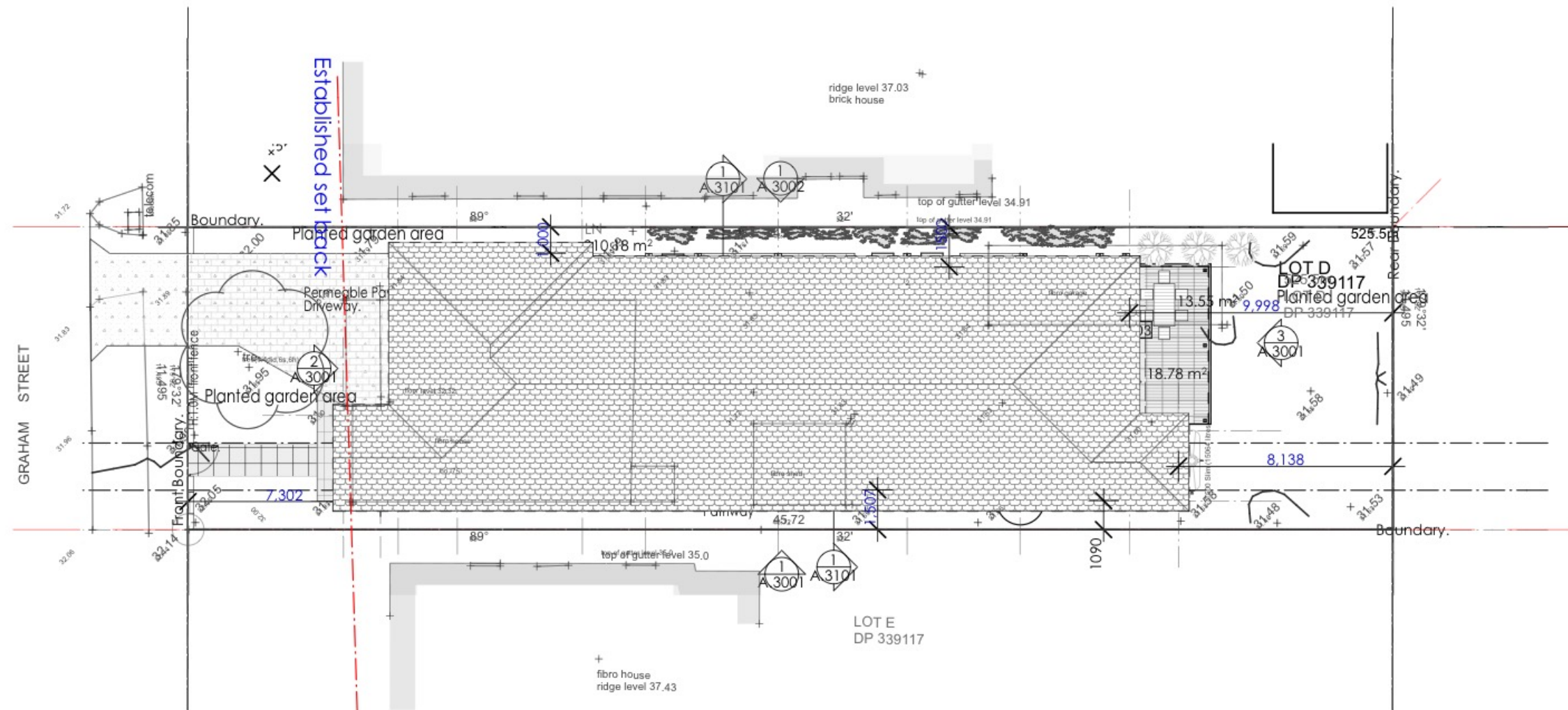
G. FSR
442 / 525.5 = 0.84

Note:

- Construction Bench Point must be set out by certified surveyor before commencing any building work & provided certification to PCA by contractor



DA Issue only
not to use for construction issue.



1 Site Plan

Scale @ A3 1:200

5 4 3 2 1 0

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Proposed Boarding House

SITE:
75 Graham Street
#Site Full Address 2141

CLIENT:
Complete Food Consultants

DRAWING TITLE:

Site Plan

DRAWN DATE SCALE:

JK. 28.06.15 1:200

PROJECT NO. DRAWING NO. REVISION

BG_75 A.1001 E

STATUS: Notes

DA

ARCHITECTURE

INTERIORS

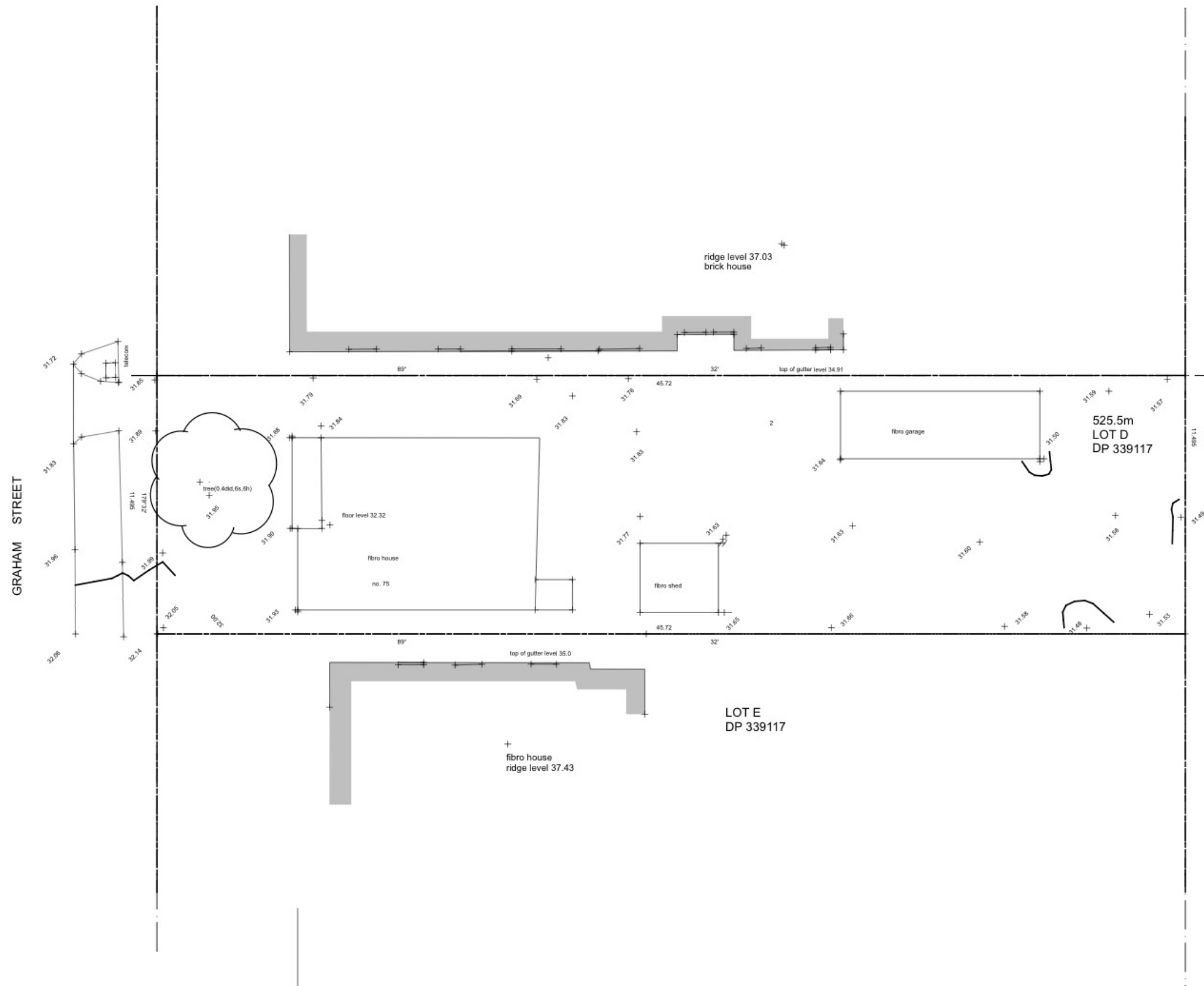
SUSTAINABLE

Prepared by
C3archi

ci3archi@gmail.com



M.M.



V.A.N CONSULTING SURVEYOR

ABN 39 034 329 922

34 JINDABYNE ROAD FLINDERS 2529

FAX: 02 4296 1640, MB: 0415 135 855

EMAIL: vananthsurveyor@gmail.com

DRAWING TITLE

VISIBLE SERVICE CONTOUR AND DETAIL SURVEY

AT NO. 75 GRAHAM STREET BERLA

BEING LOT D IN DEPOSITED PLAN 339117

DATE

OCTOBER 30, 2015

REDUCTION RATIO

1 : 200(A3)

LGA

AUBURN

CLIENT

PROJECT

Proposed Boarding House

SITE :

75 Graham Street
#Site Full Address 2141

CLIENT:

Complete Food Consultants

CONTOUR INTERVAL

0.5m

DATUM

AHD

ORIGIN OF DATUM

SSM

SOURCE

SCIMS

LENGTHS ARE IN METER

SURVEYOR'S REF

graham75

DRAWN BY

VN

SURVEY BY

VN

AMENDMENT

No	DATE	AMENDMENT
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DRAWING TITLE:

Surveyor Drawing

DRAWN DATE

JK. 28.06.15

PROJECT NO. DRAWING NO.

BG_75 A.1201

STATUS: Notes

DA

SCALE: 1:200

REVISION

E

ARCHITECTURE

INTERIORS

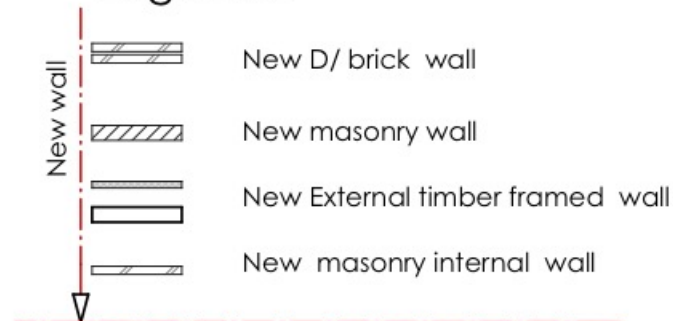
SUSTAINABLE

Prepared by

CiS Archi



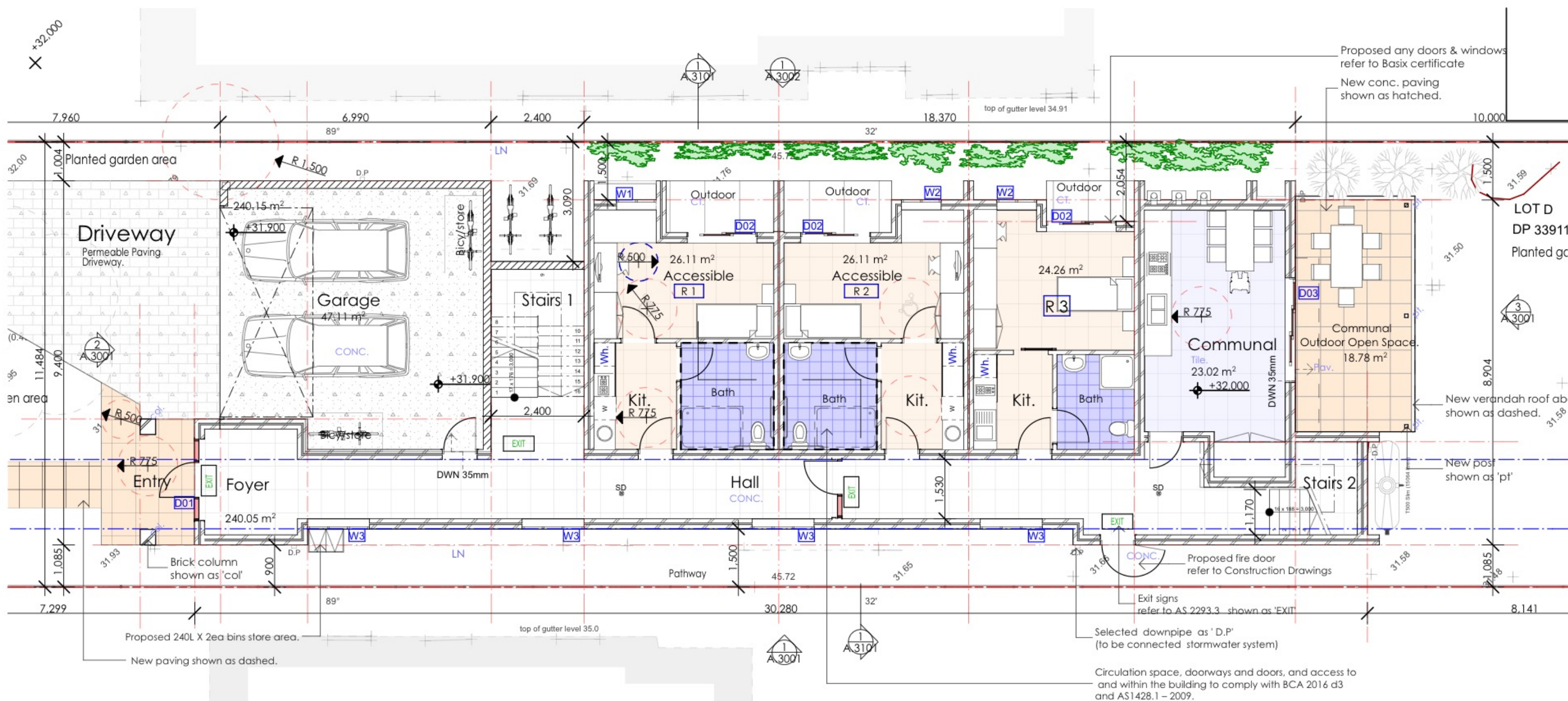
Legende



NOTE:

CONC. CONCRETE
CPT. CARPET
CRS. COLORBOND ROOF SHEETS.
DP. DOWNPIPE
RT. ROOF TILE.
CT. CERAMIC TILE
CB. COLORBOND WALL SHEETS.
FBV. FACE BRICK VENEER WALL
FB. FACE BRICK WALL.
FC. FIBRE CEMENT.
PA. PAVERS.
Wh. Washing Machine

RB. RENDERED BRICK.
ML. METAL LOUVER.
CBL. CONC. BLOCK.
SN. STONE
TIM. TIMBER FLOOR
TS. TIMBER SLATS.
PW. PLYWOOD CLADDING.
MX. MATRIX CLADDING.
PRS. POLYCARBONATE ROOF.
SHS. STEEL HOLLOW SECTION
GL. GLASS.
PT. POST.
Ex. Existing



1 Groud Floor Plan

Scale @ A3 1:100

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Proposed Boarding House

SITE:
75 Graham Street
#Site Full Address 2141

CLIENT:
Complete Food Consultants

DRAWING TITLE:

Ground Floor Plan

DRAWN: JK.
DATE: 28.06.15
PROJECT NO.: BG_75

DRAWING NO.: A.2001

STATUS: Notes

DA

SCALE: 1:100

REVISION

E

ARCHITECTURE

INTERIORS

SUSTAINABLE

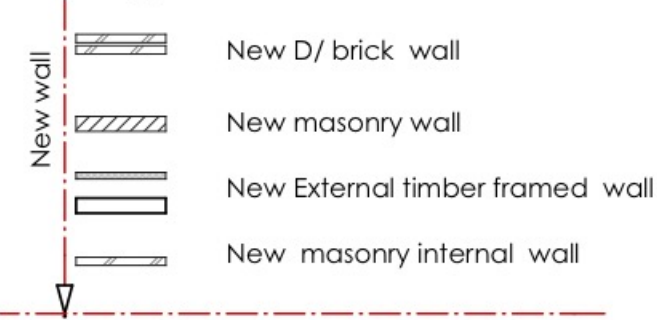
Prepared by

Cis Archi

cisarchi@gmail.com



Legende



Minimum Room Furnishings

- Bed
- Wardrobe
- Mirror
- Table & Chair
- A night light or other approved illumination device for each bed
- Waste container
- A deadlatch on the door
- Curtains, blinds or similar privacy device
- Phone line

Natural Light

- Min. floor area of the room of 10%
- be at least to 2700mm for rooms

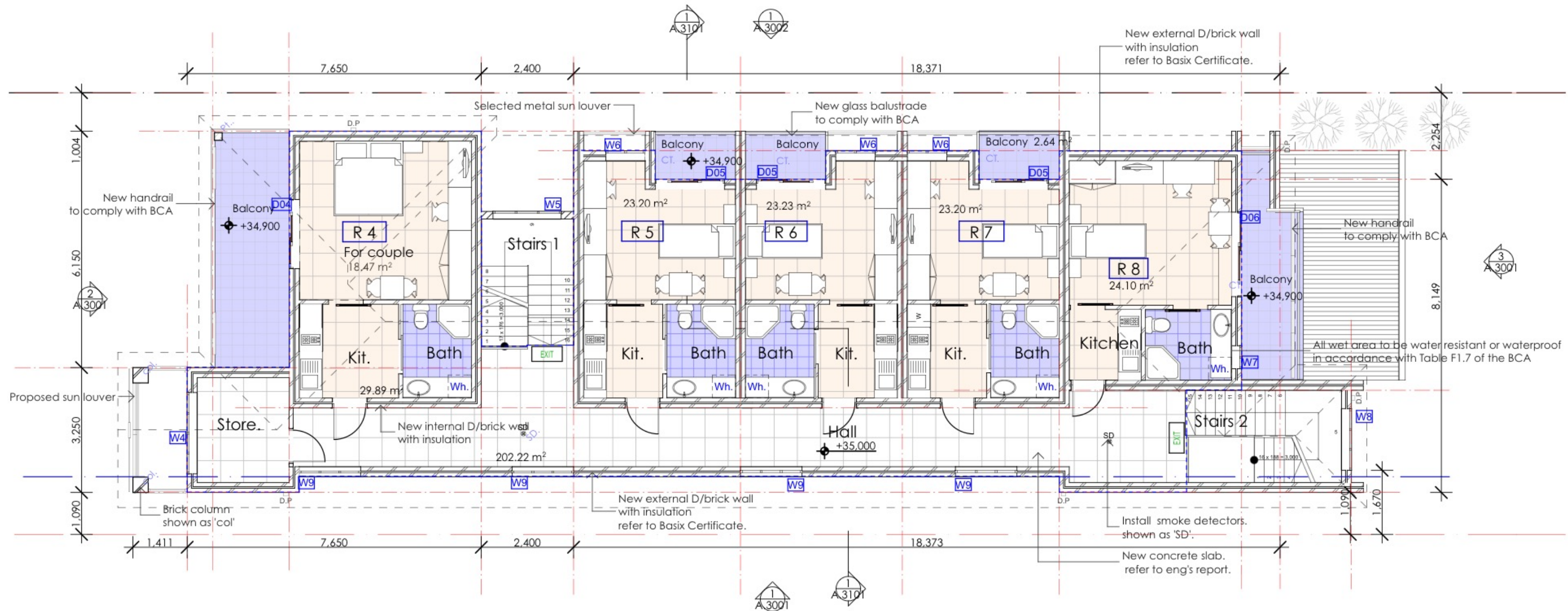
Fire Safety in Class 3 buildings

- sole occupancy unit for the purposes of Parts C, D1, D2 and F5 of the BCA so as to ensure adequate fire safety in the building, and adequate sound insulation.

NOTE:

CONC. CONCRETE
CPT. CARPET
CRS. COLORBOND ROOF SHEETS.
DP. DOWNPIPE
RT. ROOF TILE.
CT. CERAMIC TILE
CB. COLORBOND WALL SHEETS.
FBV. FACE BRICK VENEER WALL
FB. FACE BRICK WALL.
FC. FIBRE CEMENT.
PA. PAVERS.
Wh. Washing Machine

RB. RENDERED BRICK.
ML. METAL LOUVER.
CBL. CONC. BLOCK
SN. STONE
TIM. TIMBER FLOOR
TS. TIMBER SLATS.
PW. PLYWOOD CLADDING.
MX. MATRIX CLADDING.
PRS. POLYCARBONATE ROOF.
SHS. STEEL HOLLOW SECTION
GL. GLASS.
PT. POST.
Ex. Existing



1 First Floor Plan



Scale @ A3 1:100

No	DATE	AMENDMENT
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PROJECT

Proposed Boarding House

SITE:
75 Graham Street
#Site Full Address 2141

CLIENT:
Complete Food Consultants

DRAWING TITLE:

First Floor Plan

DRAWN: JK. DATE: 28.06.15 SCALE: 1:100

PROJECT NO. DRAWING NO. REVISION

BG_75 A.2002 E

STATUS: Notes

DA

ARCHITECTURE

INTERIORS

SUSTAINABLE

Prepared by
ciarchi@gmail.com

CiS Archi



Colour & material Legend

Roof Tiles	Vogue Colour: Gunmetal
Gutter & down pipe	Powdercoat/Painted Gutters Colour: Cool Grey 2
Fascia & Louver	Colorbond Colour: Cool Grey 2
Windows	Windows & Doors Colour: Woodland Grey
Bricks	#Brick (Elan) colour: Rouge
Concrete	Coloured Concrete - Colori™ Colour: Bluestone

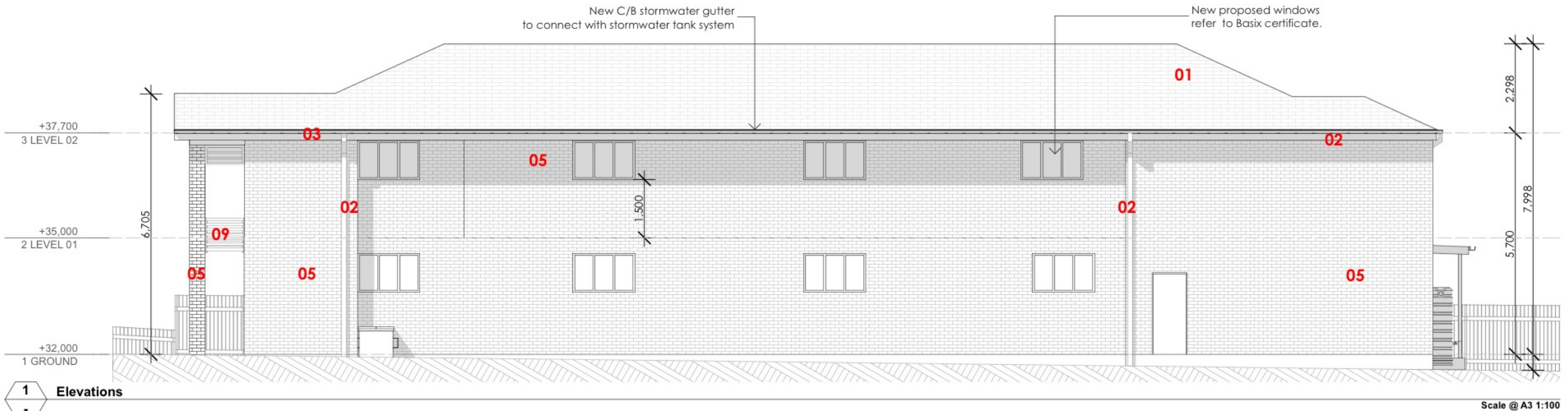
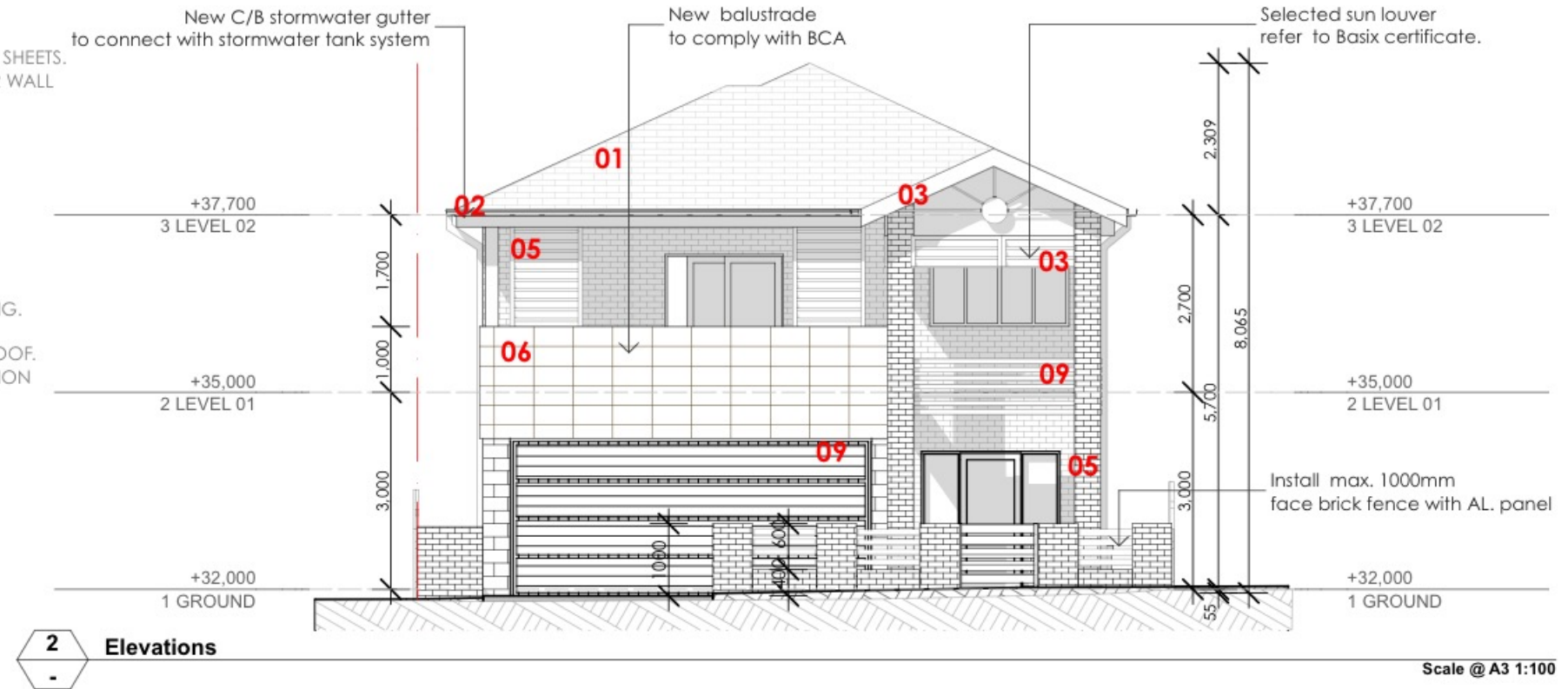
External Wall Tiles	Colour: Woodland Grey
Painted Wall	Matrix 1200x 600 Colour: Brown 1 - 30
Colourbond Cladding	Colour:Dune
Timber	Colour: Turpentine Classic
Conc. Block	Charcoal in Split Face Mortar Colour: Natural

NOTE:

CONC. CPT. CRS. DP. RT. CT. CB. FBV. FB. FC. PA. RB. ML. CBL. SN. TIM. TS. PW. MX. PRS. SHS. GL. PT. Ex.

CONCRETE CARPET COLORBOND ROOF SHEETS. DOWNPIPE ROOF TILE. CERAMIC TILE COLORBOND WALL SHEETS. FACE BRICK VENEER WALL. FACE BRICK WALL. FIBRE CEMENT. PAVERS. RENDERED BRICK. METAL LOUVER. CONC. BLOCK STONE. TIMBER FLOOR. TIMBER SLATS. PLYWOOD CLADDING. MATRIX CLADDING. POLYCARBONATE ROOF. STEEL HOLLOW SECTION. GLASS. POST. Existing

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B	31.05.16	Issue for DA issue only
C	20.10.16	Issue for DA issue only
D	30.10.16	Issue for DA issue only
E	01.11.16	Issue for DA issue only

NOTE:

1. RUBBER FRAMING AND WIND BRACING TO COMPLY WITH ALL LAB AND TO NEW RUBBER FRAMING MANUAL ADVANCED TO SET WIND TERNAL CATEGORY.
2. PROVIDE CORRECT TIGHTENING SYSTEM TO AS TAND.
3. SELECTED WINDOWS AND DOORS TO SET DESIGNATED WIND TERNAL CATEGORY.
4. ALL SITE CONSIDERING INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.
5. DO NOT SCALE THE DRAWING. USE DIMENSIONS ONLY.
6. CHECK ALL DIMENSIONS ON SITE BEFORE ERECTING ANY WALL.
7. DRAWING TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

PROJECT

Proposed Boarding House

SITE:

75 Graham Street
#Site Full Address 2141

CLIENT:

Complete Food Consultants

DRAWING TITLE:

Elevations

DRAWN

JK.

PROJECT NO.

BG_75

STATUS: Notes

DA

SCALE:

1:100

REVISION

E

ARCHITECTURE

INTERIORS

SUSTAINABLE

Prepared by

CiS Archi

ciarchi@gmail.com

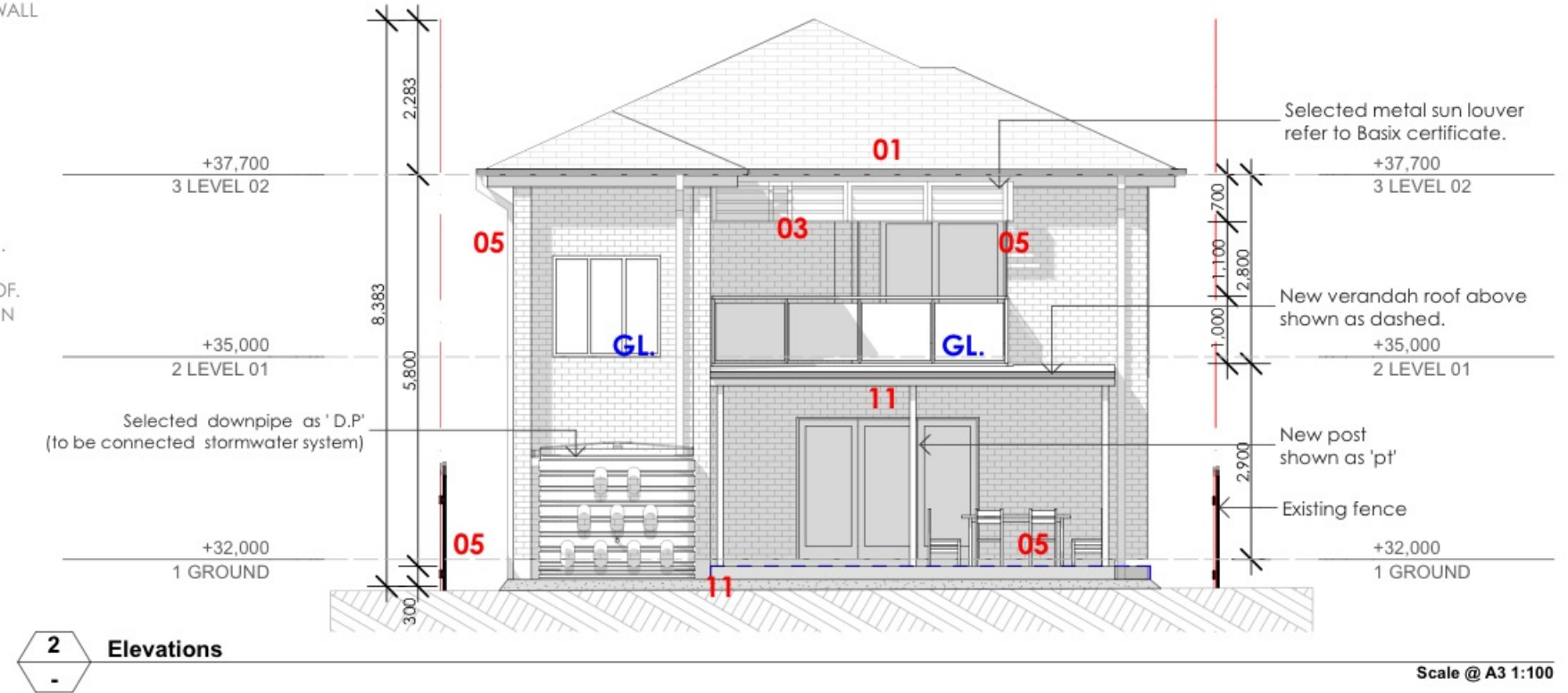


Roof Tiles	Vogue Colour: Gunmetal	External Wall Tiles	Colour: Woodland Grey
Gutter & down pipe	Powdercoat/Painted Gutters Colour: Cool Grey 2	Painted Wall	Matrix 1200x 600 Colour: Brown 1 - 30
Fascia & Louver	Colorbond Colour: Cool Grey 2	Colourbond Cladding	Colour:Dune
Windows	Windows & Doors Colour: Woodland Grey	Timber	Colour: Turpentine Classic
Bricks	Brick Elan colour: Rouge	Conc. Block	Charcoal in Split Face Mortar Colour: Natural
Concrete	Coloured Concrete - Colori™ Colour: Bluestone		

NOTE:

CONC.	CONCRETE
CPT.	CARPET
CRS.	COLORBOND ROOF SHEETS.
DP.	DOWNPIPE
RT.	ROOF TILE.
CT.	CERAMIC TILE
CB.	COLORBOND WALL SHEETS.
FBV.	FACE BRICK VENEER WALL
FB.	FACE BRICK WALL.
FC.	FIBRE CEMENT.
PA.	PAVERS.
RB.	RENDERED BRICK.
ML.	METAL LOUVER.
CBL.	CONC. BLOCK
SN.	STONE
TIM.	TIMBER FLOOR
TS.	TIMBER SLATS.
PW.	PLYWOOD CLADDING.
MX.	MATRIX CLADDING.
PRS.	POLYCARBONATE ROOF.
SHS.	STEEL HOLLOW SECTION
GL.	GLASS.
PT.	POST.
Ex.	Existing

DA Issue only
not to use for construction issue.



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E	01.11.16	Issue for DA issue only

NOTE:

1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH ALL AS AND TO NEW TIMBER FRAMING MANUAL ADVISORY TO SET WIND TERNAL CATEGORY.
2. PROVIDE CORRECT TYPED NUMBER SYSTEM TO AS 3460.
3. SELECTED WINDOWS AND DOORS TO SET DISADVANTAGED WIND TERNAL CATEGORY.
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.
5. DO NOT SCALE THE DRAWING. USE DIMENSIONS ONLY.
6. CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK.
7. DRAWING TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
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PROJECT
Proposed Boarding House

SITE:
75 Graham Street
#Site Full Address 2141

CLIENT:
Complete Food Consultants

DRAWING TITLE:

Elevations

DRAWN	DATE	SCALE:
JK.	28.06.15	1:100
PROJECT NO.	DRAWING NO.	REVISION
BG_75	A.3002	E

STATUS: Notes

DA

ARCHITECTURE

INTERIORS

SUSTAINABLE

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BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 702169S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 18/09/2014 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 07 November 2016
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	75 Graham St_issue_01	
Street address	75 Graham Street Auburn 2144	
Local Government Area	Auburn Council	
Plan type and plan number	deposited 339117	
Lot no.	D	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	9	
Project score		
Water	✔ 42	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 48	Target 40

Basix (All informaton must check with Basix certificate)

Additional insulation required (R-value)

Construction

- Exteranal wall : Brick veneer -- R1.66 (or R2.20 including construction)
framed wall . -- R1.80(or R2.20 including construction)
external wall - cavity brick -- 1.00 (or 1.67 including construction)
- Flat ceiling and pitched roof -- ceiling: 1.95 (up), roof: foil backed blanket (55mm)
4 wind-driven ventilator(s) + eave vents; dark (solar absorptance > 0.70)
- Floor -concrete slab on ground -nil
- Floor - Suspended floor above garage. concrete - 0.4 (or 1 including construction)

Alternative Water

must install a rainwater tank of at least 1500 litres on the site. (Collect rain runoff from at least 200 square metres of the roof area)

Hot water

-Install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.

Fixtures

- The applicant must ensure new or altered showerheads have a flow rate no greater than (> 4.5 but <= 6 L/min) or a 3 star water rating.
- The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 5 star water rating.
- The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 6 star water rating
- The applicant must ensure basin taps have minimum 6 star water rating

Glazing requirement

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

DA Issue only
not to use for construction issue.

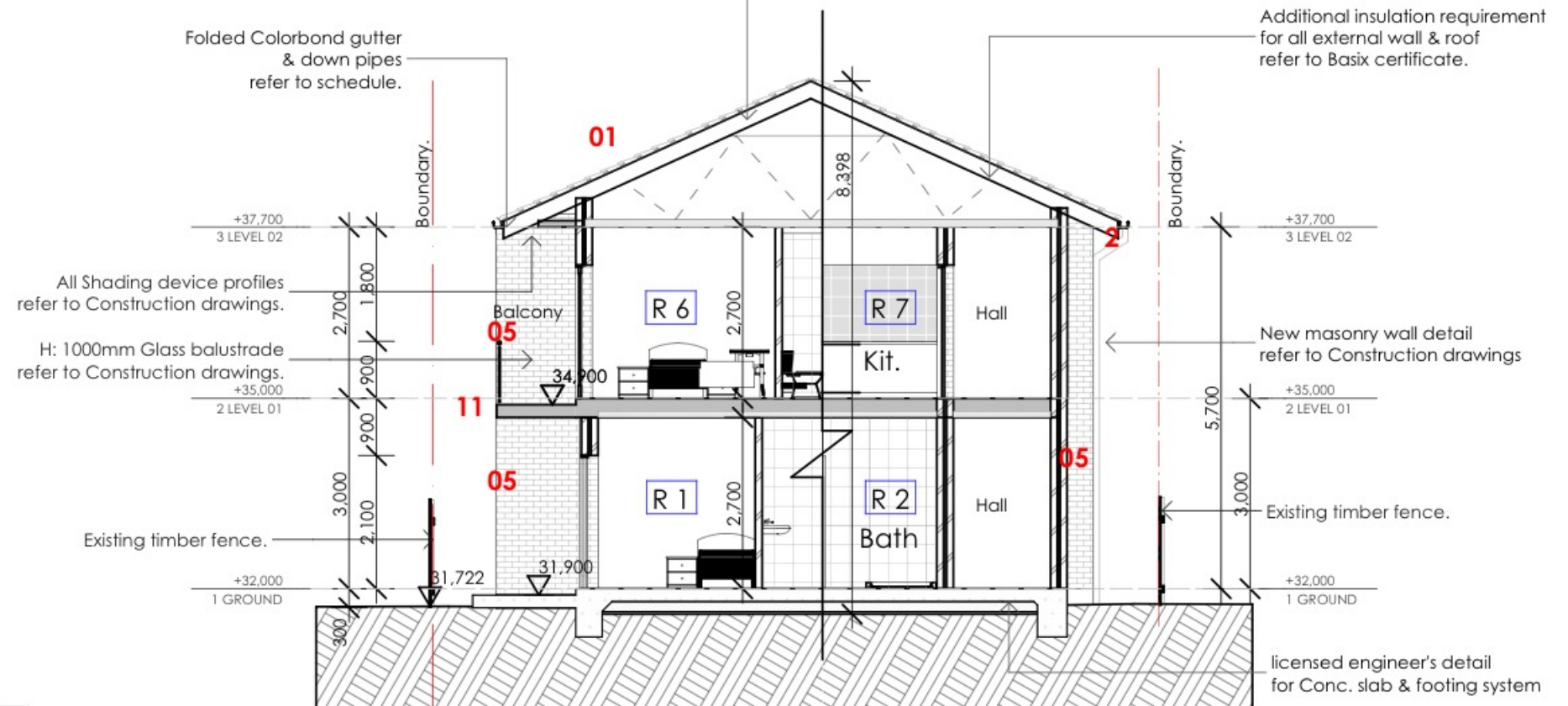
Window List								
ID	D01	D02	D03	D04	D05	D06	W1	W2
2D Symbol								
Nominal W x H Size	2,100x2,100	1,800x2,100	2,700x2,100	1,800x2,100	1,800x2,100	2,200x2,100	1,024x1,100	1,024x1,100
Quantity	1	3	1	1	3	1	1	2
Area	4.41	3.78	5.67	3.78	3.78	5.67	1.13	1.13
Basix								

Window List							
ID	W3	W4	W5	W6	W7	W8	W9
2D Symbol							
Nominal W x H Size	1,600x1,000	2,117x1,000	1,775x1,500	1,024x1,100	600x900	1,600x1,500	1,600x1,000
Quantity	4	1	1	3	1	1	4
Area	1.6	2.11	2.66	1.13	0.54	2.4	1.6
Basix							

Roof tile on @ 24.5' timber framed roof system
refer to Construction drawings

Folded Colorbond gutter
& down pipes
refer to schedule.

Additional insulation requirement
for all external wall & roof
refer to Basix certificate.



1 Section

Scale @ A3 1:100

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NOTE:

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2. PROVIDE CORRECT TENSILE BARRED SYSTEM TO AS SUD.
3. SELECTED WINDOWS AND DOORS TO SET DESIGNATED WIND TERNAL CATEGORY.
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.
5. DO NOT SCALE THE DRAWING. USE REQUIRED DIMENSIONS.
6. CHECK ALL DIMENSIONS ON THE DRAWING INCLUDING ANY BILLS.
7. DRAWING TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

PROJECT

Proposed Boarding House

SITE:

75 Graham Street
#Site Full Address 2141

CLIENT:

Complete Food Consultants

DRAWING TITLE:

Section, Window & Basix

DRAWN DATE SCALE:

JK. 28.06.15 1:100

PROJECT NO. DRAWING NO. REVISION

BG_75 A.3101 E

STATUS: Notes

ARCHITECTURE

INTERIORS

SUSTAINABLE

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