

GENERAL NOTES:-

- THIS SURVEY IS NOT A 'LAND SURVEY' AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
 - ONLY TREES GREATER THAN 3.5 METRES IN HEIGHT ARE SHOWN ON THIS PLAN AND THEIR POSITIONS AREA DIAGRAMMATIC ONLY AND MAY REQUIRE ADDITIONAL SURVEY WHERE CRITICAL TO DESIGN.
 - CONTOURS ARE INDICATIVE AT GROUND FORM ONLY. SPOT LEVELS ONLY SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
 - LEVELS ARE ON AUSTRALIAN HEIGHT DATUM (A.H.D.)
 - THE CONTOUR INTERVAL IS 0.5m
 - ALL SETOUT LEVELS MUST BE REFERRED TO THE BENCH MARK SHOWN ON THIS PLAN.
 - THIS PLAN IS FOR DEVELOPMENT APPLICATION PURPOSED ONLY. FURTHER DETAILED ENGINEERING PLANS MAY BE REQUIRED FOR THE PURPOSE OF OBTAINING A CONSTRUCTION CERTIFICATE.
- BOUNDARY NOTES:-**
- THE BOUNDARIES OF THE LAND HAVE NOT BEEN SURVEYED. THE RELATIONSHIP BETWEEN THE BOUNDARIES SHOWN AND FEATURES SURVEYED ARE APPROXIMATE AND SUITABLE FOR PLOTTING PURPOSES ONLY.
 - BOUNDARIES HAVE NOT BEEN MARKED.
- SURVEY INFORMATION NOTES:-**
- THE SURVEY IS NOT ON A DEFINED COORDINATE SYSTEM.
 - THE ORIGIN OF LEVELS COMES FROM PM53618 RL22.973 CLASS LB ORDER L2 ADOPTED FROM SCIMS DATED 23/04/2018.
 - THE ORIENTATION OF THIS PLAN IS APPROXIMATE TRUE NORTH BASED ON THE ASSUMPTION THAT THE VARIATION OF TRUE NORTH TO MAGNETIC NORTH IS 9°36'. THIS HAS NOT BEEN VERIFIED AS PART OF THIS PLAN AND SHOULD YOU REQUIRE MORE ACCURATE DETERMINATION OF TRUE NORTH A FURTHER SURVEY IS REQUIRED.

SERVICES NOTES:-

- ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED AND ARE QUALITY LEVEL A AS DEFINED BY AS 5488-2013.
- UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM 'DIAL-BEFORE-YOU-DIG' PLANS AND ARE QUALITY LEVEL D AS DEFINED BY AS 5488-2013.
- ALL RELEVANT AUTHORITIES MUST BE CONTRACTED TO DETERMINE THE FULL EXTENT OF SERVICES PRIOR TO ANY PLANNING OR WORKS NEAR THE SITE.

CERTIFICATE OF TITLE NOTES:-

- THE FOLLOWING INFORMATION IS FROM THE CERTIFICATE OF TITLE DATED 23/04/2018.
- NO COVENANTS OR RESTRICTIONS ARE NOTED ON THE CERTIFICATES OF TITLE.

LEGEND:-

- VC denotes VEHICLE CROSSING
TK denotes TOP OF KERB
COM denotes COMMUNICATIONS PIT
PP denotes POWER POLE
SIP denotes SEWER INSPECTION PIT
FL denotes FLOOR LEVEL
D:S:H denotes DIAMETER, SPREAD and HEIGHT of TREE

UNDERGROUND SERVICES LEGEND - QUALITY LEVEL D (AS 5488-2013)

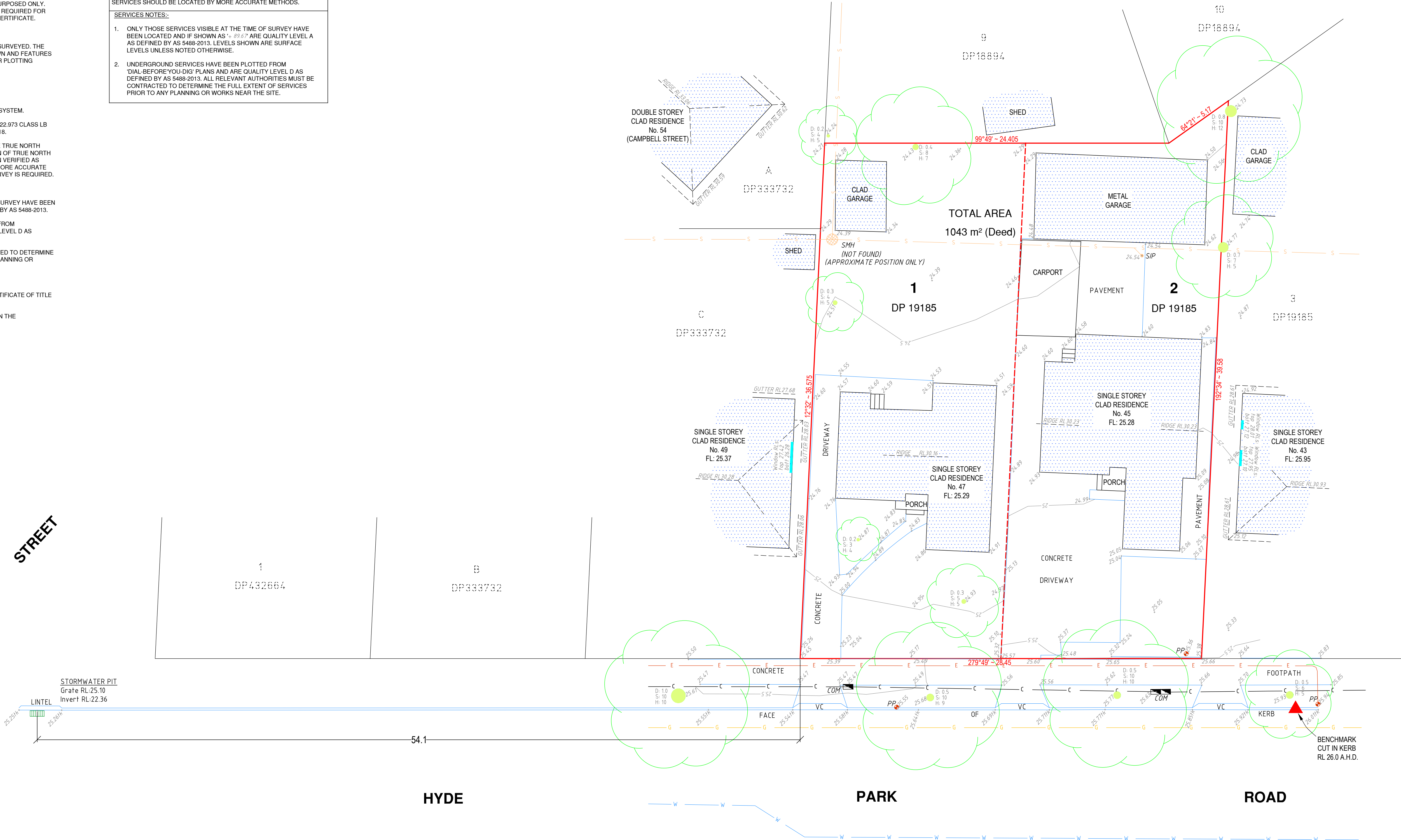
- W POTABLE WATER MAIN
S SEWER MAIN
C COMMUNICATIONS CABLES
E ELECTRICITY CABLES
G GAS MAIN

CAUTION: FIBRE OPTIC CABLES ARE PRESENT IN THIS AREA

APPROXIMATE POSITION ONLY VIDE 'DIAL-BEFORE-YOU-DIG' PLANS JOB No. 14091071. WHERE CRITICAL TO DESIGN, UNDERGROUND SERVICES SHOULD BE LOCATED BY MORE ACCURATE METHODS.

SERVICES NOTES:-

- ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED AND IF SHOWN AS '1' OR '2' ARE QUALITY LEVEL A AS DEFINED BY AS 5488-2013. LEVELS SHOWN ARE SURFACE LEVELS UNLESS NOTED OTHERWISE.
- UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM 'DIAL-BEFORE-YOU-DIG' PLANS AND ARE QUALITY LEVEL D AS DEFINED BY AS 5488-2013. ALL RELEVANT AUTHORITIES MUST BE CONTRACTED TO DETERMINE THE FULL EXTENT OF SERVICES PRIOR TO ANY PLANNING OR WORKS NEAR THE SITE.

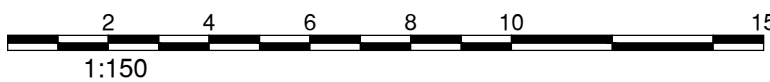


ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	30/04/18	ORIGINAL ISSUE	DG/CT				

CLIENT:
LOUISE TU

ORIGIN OF LEVELS: PM 53618 RL 22.973	SCALE: 1:150	REF: 7638	PLAN A1
DATUM: A.H.D.	ORIGIN OF COORDINATES: ASSUMED	DATE: 30/04/2018	ISSUE A
		SURV/CHK: DG/CT	
		SHEET 1 OF 1 SHEETS	

DETAIL AND LEVEL SURVEY OF LOT 1 & LOT 2 IN DP19185
45-47 HYDE PARK ROAD
BERALA

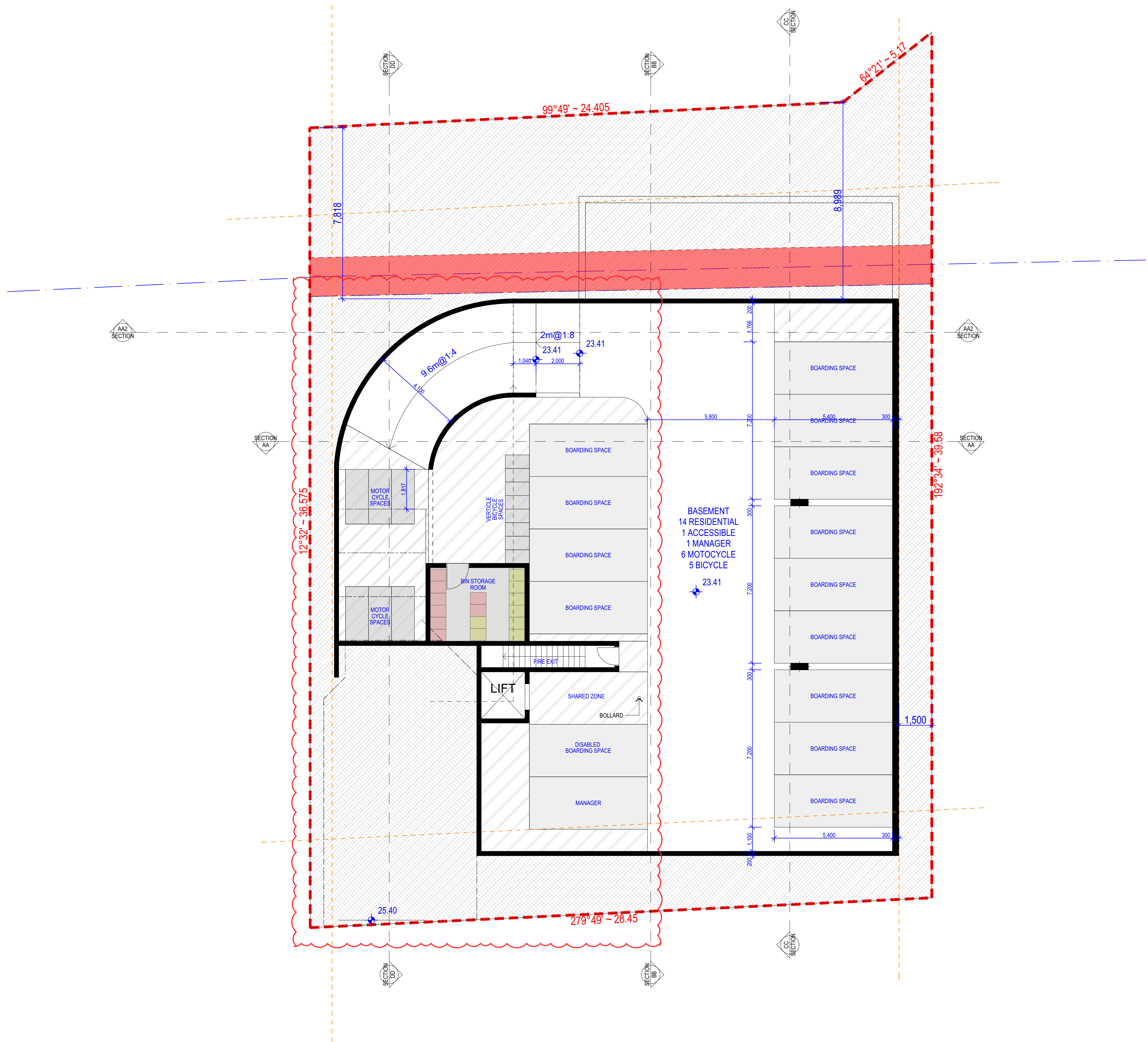


©COPYRIGHT
This plan is not to be used for any purpose other than its original intention and remains the property of SDG. This plan cannot be reproduced, copied or digitally transferred (in whole or part) without prior written permission of SDG.

SDG
LAND DEVELOPMENT SOLUTIONS
A.B.N. 69 213 023 021
Suite 1 3 Railway Street
BAULKHAM HILLS 2153
P.O.Box 2572
NORTH PARRAMATTA 1750
T: (02) 9630 7955
e: office@sdg.net.au
w: www.sdg.net.au



APPROX TRUE NORTH



E	AMEND AS PER COUNCIL REQUEST	20/12/2018
D	AMEND AS PER COUNCIL REQUEST	23/07/2018
C	DA - AMEND BASEMENT	23/06/2018
B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	Date

Project
45 - 47 HYDE PARK ROAD, BERALA

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
p 02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

Nominated Architects:
Ziad Boumelhem Reg:8008
Youssef El Khawaja Reg:8933
Nicolas Toubia Reg:9336

Drawing title

BASEMENT PLAN
Date generated 20/12/2018 M.P. Drawn Z.B. Checked
Scale 1:100 @ A1 sheet size 50mm on original
Project number 18- 31 Drawing number 2000 Revision E
Status

DA APPLICATION

BASEMENT PLAN
@ A1 1:100

HYDE PARK ROAD



E	AMEND AS PER COUNCIL REQUEST	20/12/2018
D	AMEND AS PER COUNCIL REQUEST	23/07/2018
C	DA - AMEND BASEMENT	23/06/2018
B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	Date

Project
45 - 47 HYDE PARK ROAD, BERALA

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
p 02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

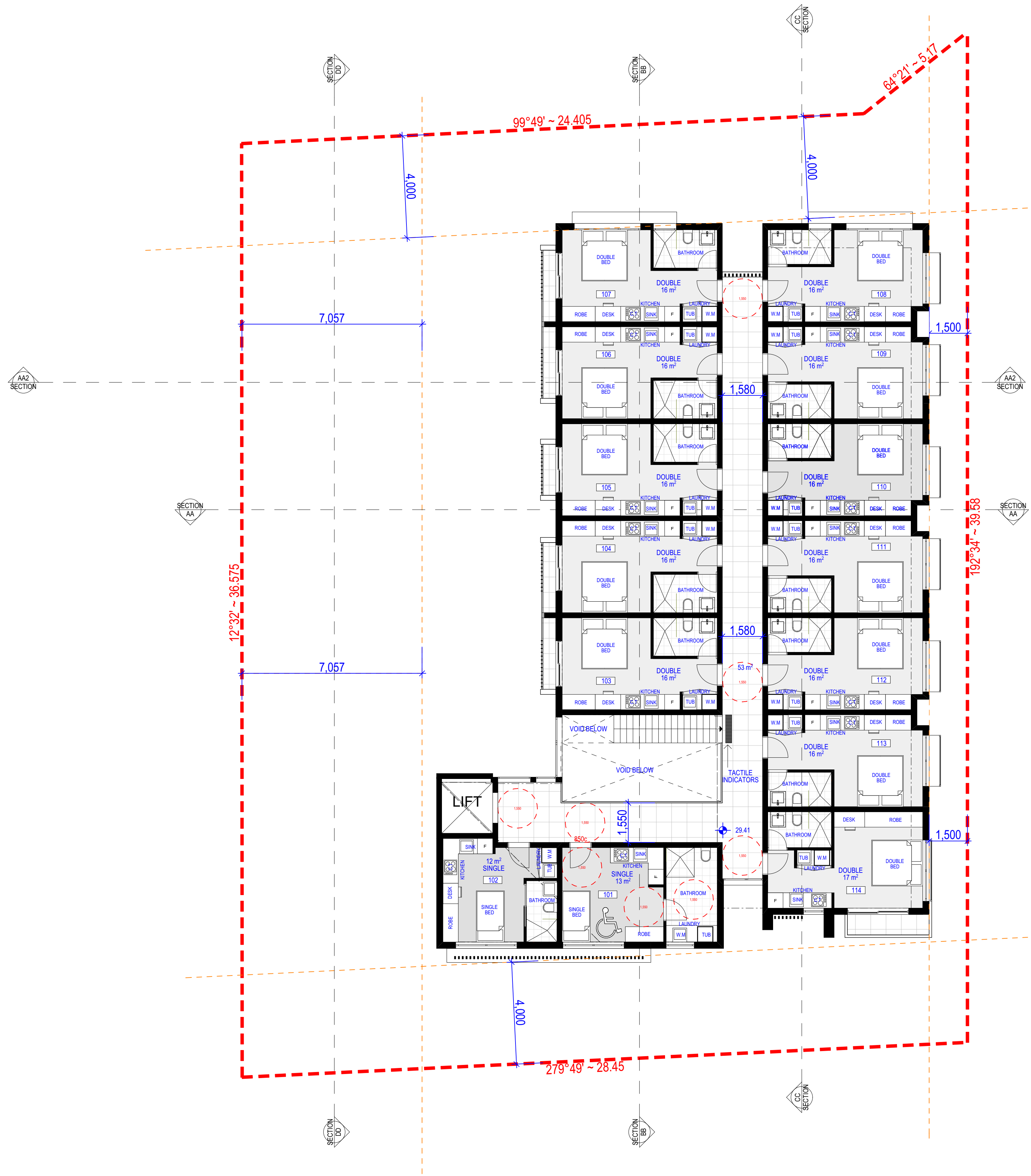
Nominated Architects:
Ziad Boumelhem
Youssef El Khawaja
Nicolas Toubia
Reg:8008
Reg:8933
Reg:9336

Drawing title

GROUND FLOOR PLAN

Date generated 20/12/2018 M.P.
Scale 1:100
@ A1 sheet size 50mm on original
Project number 18- 31
Drawing number 2001
Status E
Checked Z.B.
Revision

DA APPLICATION



E	AMEND AS PER COUNCIL REQUEST	20/12/2018
D	AMEND AS PER COUNCIL REQUEST	23/07/2018
C	DA - AMEND BASEMENT	23/06/2018
B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	Date

Project
45 - 47 HYDE PARK ROAD, BERALA

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
p 02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

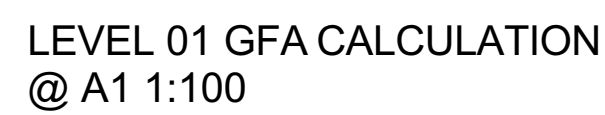
Nominated Architects:
Ziad Boumelhem Reg:8008
Youssef El Khawaja Reg:8933
Nicolas Toubia Reg:9336

Drawing title

LEVEL 1
Date generated 20/12/2018 M.P. Drawn Z.B. Checked
Scale 1:100 @ A1 sheet size 50mm on original
Project number 18- 31 Drawing number 2002 Revision E
Status

DA APPLICATION

Verify all dimensions on site



E	AMEND AS PER COUNCIL REQUEST	20/12/2018
D	AMEND AS PER COUNCIL REQUEST	23/07/2018
C	DA - AMEND BASEMENT	23/06/2018
B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	Date

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

Drawing title

Project number	Drawing number	Revision
18- 31	2003	E
Status		

DATA APPLICATION



ROOF PLAN
@ A1 1:100

E	AMEND AS PER COUNCIL REQUEST	20/12/2018
D	AMEND AS PER COUNCIL REQUEST	23/07/2018
C	DA - AMEND BASEMENT	23/06/2018
B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	Date

Project
45 - 47 HYDE PARK ROAD, BERALA

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
p 02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

Nominated Architects:
Ziad Boumelhem Reg:8008
Youssef El Khawaja Reg:8933
Nicolas Toubia Reg:9336

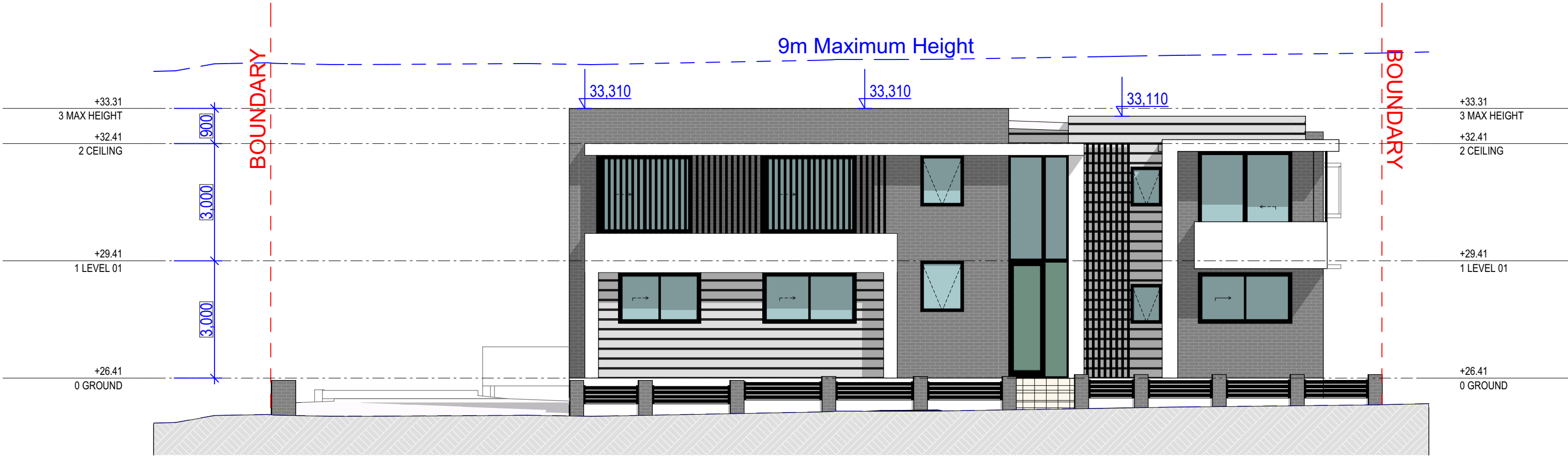
Drawing title

ROOF PLAN
Date generated 20/12/2018 M.P. Drawn Z.B. Checked Z.B.
Scale 1:100 @ A1 sheet size 50mm on original
Project number 18- 31 Drawing number 2101 Revision E
Status

DA APPLICATION



NORTH ELEVATION
@ A1 1:100



SOUTH ELEVATION
@ A1 1:100



WEST ELEVATION
@ A1 1:100



EAST ELEVATION
@ A1 1:100

E	AMEND AS PER COUNCIL REQUEST	20/12/2018
D	AMEND AS PER COUNCIL REQUEST	23/07/2018
C	DA - AMEND BASEMENT	23/06/2018
B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	Date

Project
45 - 47 HYDE PARK ROAD, BERALA

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
p 02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

Nominated Architects:
Ziad Boumelhem Reg:8008
Youssef El Khawaja Reg:8933
Nicolas Toubia Reg:9336

Drawing title

ELEVATIONS

Date generated 20/12/2018 M.P. Drawn Z.B. Checked

Scale 1:100 @ A1 sheet size 50mm on original

Project number 18- 31 Drawing number 3001 Revision E
Status

DA APPLICATION

Architectural section drawing of a building, labeled "SECTION B-B". The drawing shows a cross-section of the building, including a basement level and a 9m maximum height. The drawing is labeled "9m Maximum Height" and "SECTION B-B". The drawing shows a building with a basement level and a 9m maximum height. The drawing is labeled "SECTION B-B" and "9m Maximum Height".

This architectural section drawing illustrates the internal structure and layout of a building. The drawing includes the following details:

- Elevation Markers (Left Side):**
 - +33.31: 3 MAX HEIGHT
 - +32.41: 2 CEILING
 - +29.41: 1 LEVEL 01
 - +26.41: 0 GROUND
 - +23.41: -1 BASEMENT
- Dimensions:**
 - Vertical dimensions on the left indicate floor-to-floor heights of 3,000 units for Levels 01 and 02, and a basement height of 3,000 units from ground level.
 - A horizontal dimension of 9m Maximum Height is indicated at the top.
 - Basement floor levels are marked as 23.410.
- Structural and Interior Features:**
 - The drawing shows a cross-section of the building with multiple rooms, corridors, and a staircase.
 - Structural elements like walls, columns, and floors are clearly delineated.
 - Interior features include doors, windows, and furniture such as desks and chairs.
 - The basement level is shown below ground level, with a note "NGL" (Not to Scale) near the ground line.
- Boundaries:**
 - Red dashed lines on the left and right sides are labeled "BOUNDARY".

This architectural section drawing illustrates a building's internal structure and height constraints. The drawing includes the following details:

- Height Constraints:** A blue dashed line indicates a "9m Maximum Height".
- Vertical Levels:**
 - +33.31: 3 MAX HEIGHT
 - +32.41: 2 CEILING
 - +29.41: 1 LEVEL 01
 - +26.41: 0 GROUND
 - +23.41: -1 BASEMENT
- Dimensions:**
 - Vertical dimensions of 3.000 are shown for the height between levels 0 and 1, and between levels 1 and 2.
 - Horizontal dimensions of 23.710 and 23.410 are shown for the width of the building at different levels.
- Internal Layout:** The drawing shows a multi-story building with a central corridor, rooms, and a basement area. The basement is labeled "NGL" (Not to Ground Level).
- Boundaries:** Red dashed lines labeled "BOUNDARY" are shown on the left and right sides of the building.

EXISTING SINGLE STOREY CLAD DWELLING @ 49 HYDE PARK RD, BERALA

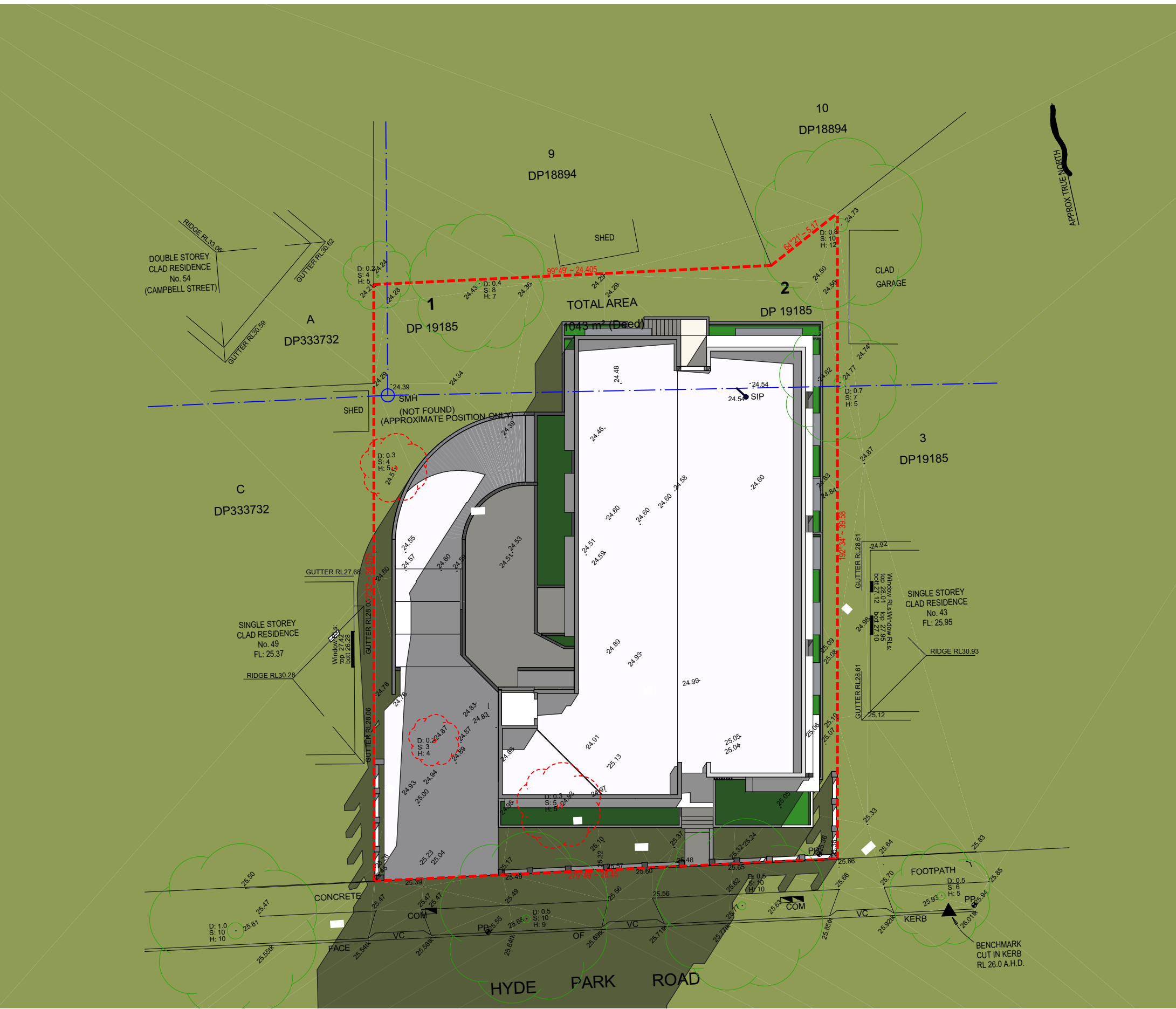
PROPOSED BOARDING HOUSE DEVELOPMENT @ 45 - 47 HYDE PARK RD, BERALA

Height dimensions (m): 2.690, 2.220, 28.060, 30.280, 29.524, 28.060, 31.900, 31.000, 31.700.

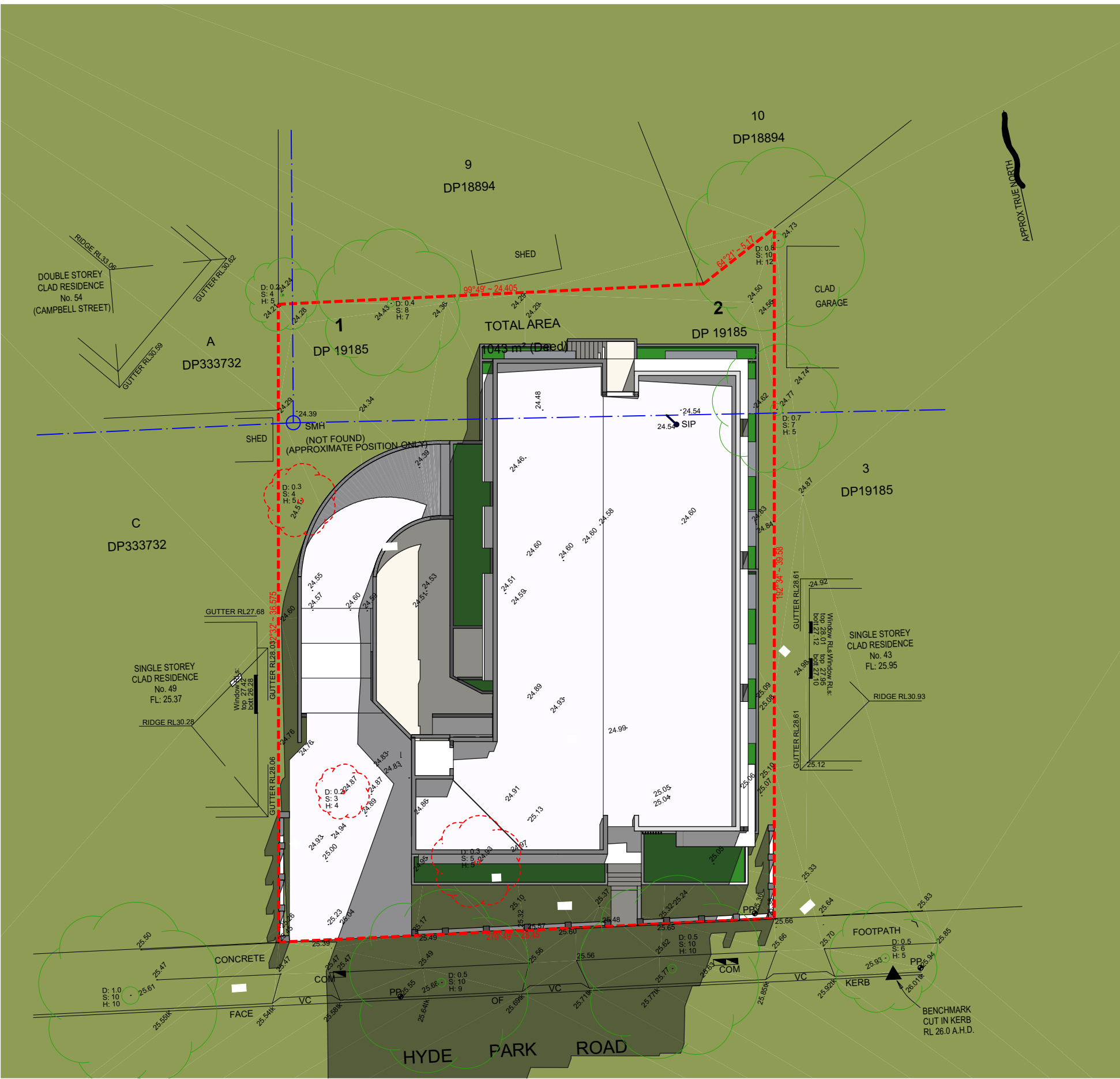
Boundary lines are indicated by red dashed lines labeled "BOUNDARY".

[illegible]

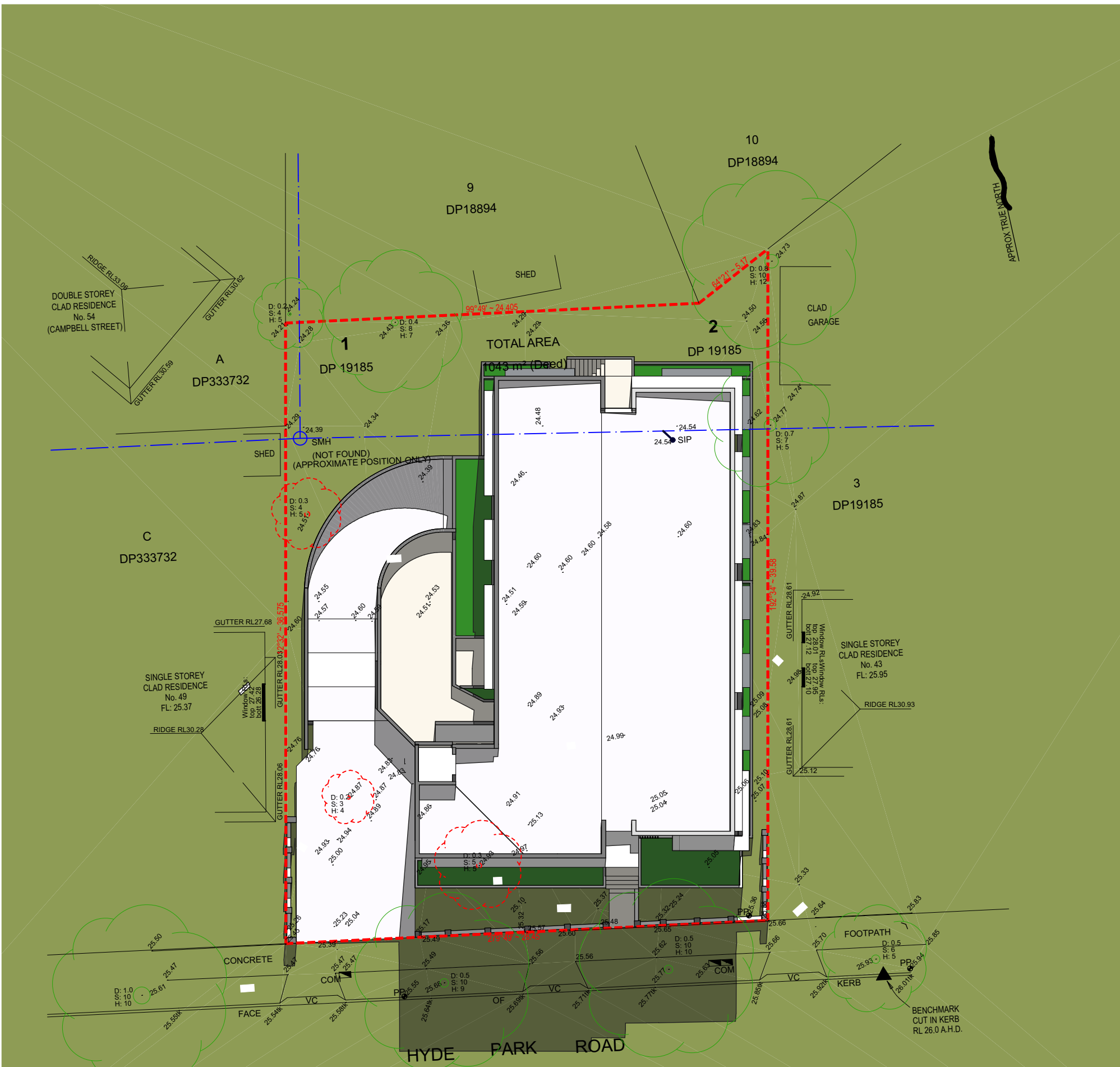
DA APPLICATION



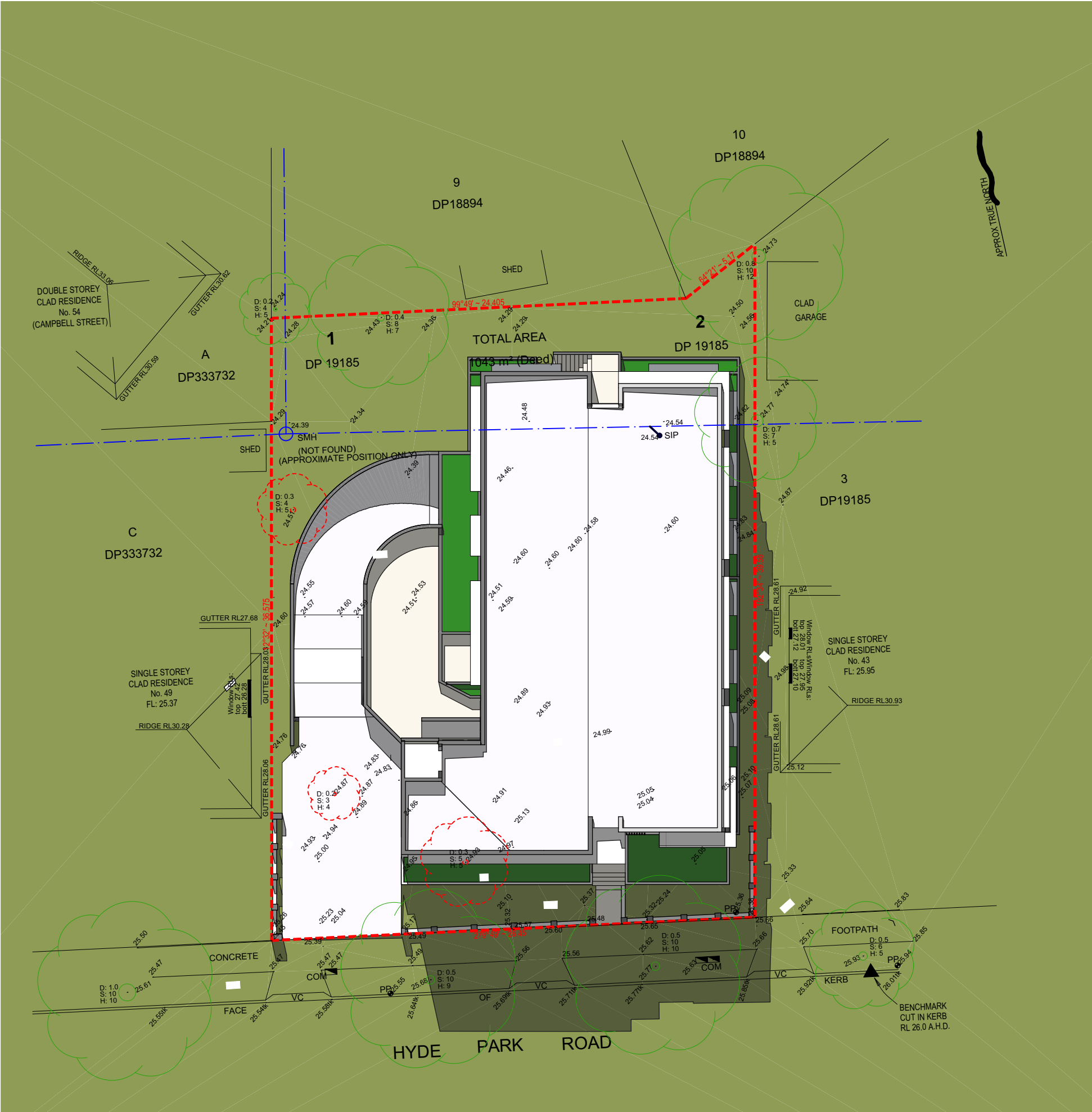
1 JUNE 21ST, 9AM 1:250



1 JUNE 21ST, 10AM 1:250



1 JUNE 21ST, 11AM 1:250



1 JUNE 21ST, 12PM 1:250

E	AMEND AS PER COUNCIL REQUEST	20/12/2018
D	AMEND AS PER COUNCIL REQUEST	23/07/2018
C	DA - AMEND BASEMENT	23/06/2018
B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	Date

Project
45 - 47 HYDE PARK ROAD, BERALA

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
p 02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

Nominated Architects:
Ziad Boumelhem Reg:8008
Youssef El Khawaja Reg:8933
Nicolas Toubia Reg:9336

Drawing title

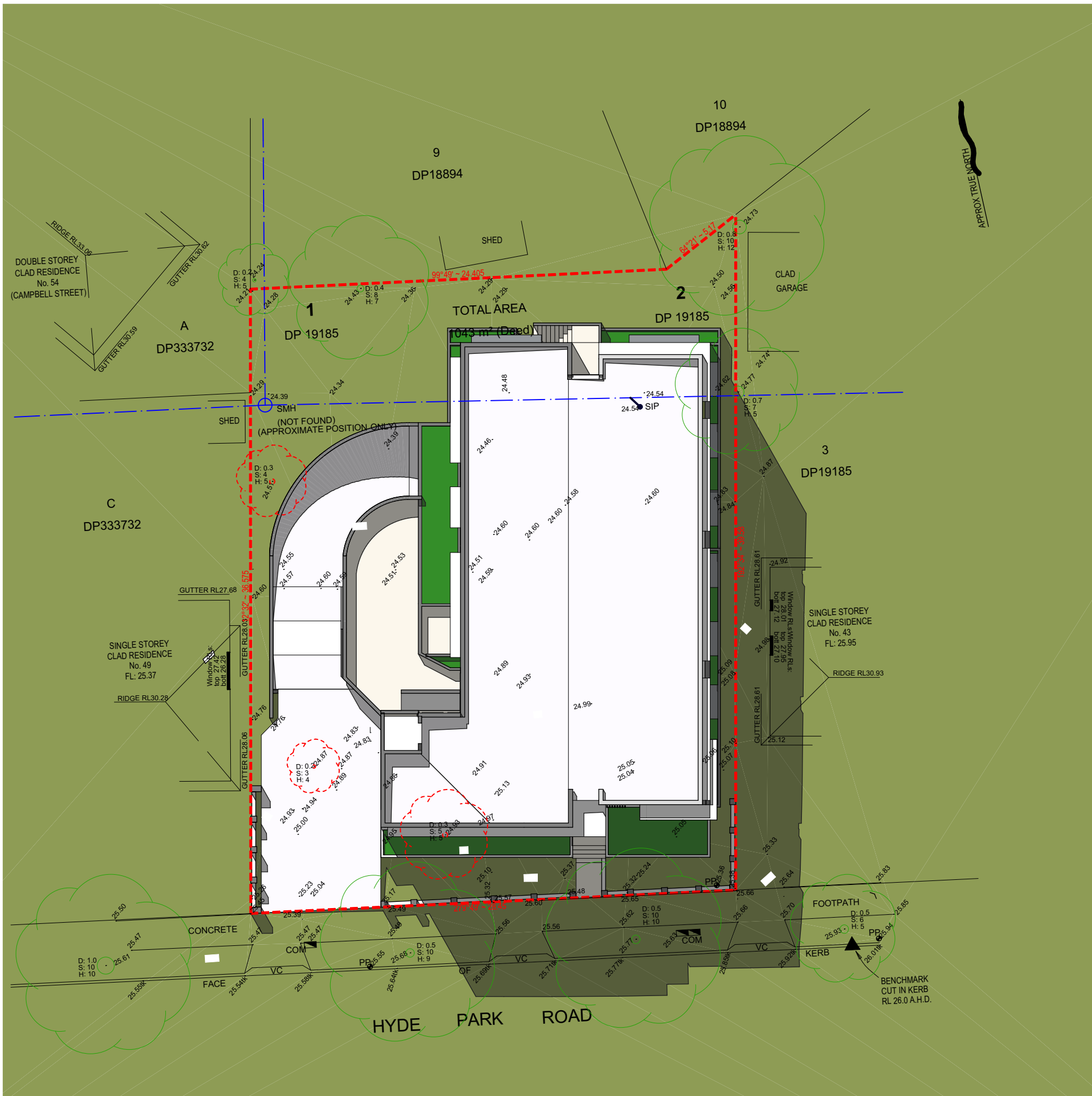
JUNE EQUINOX

Date generated 20/12/2018 M.P. Drawn Z.B. Checked

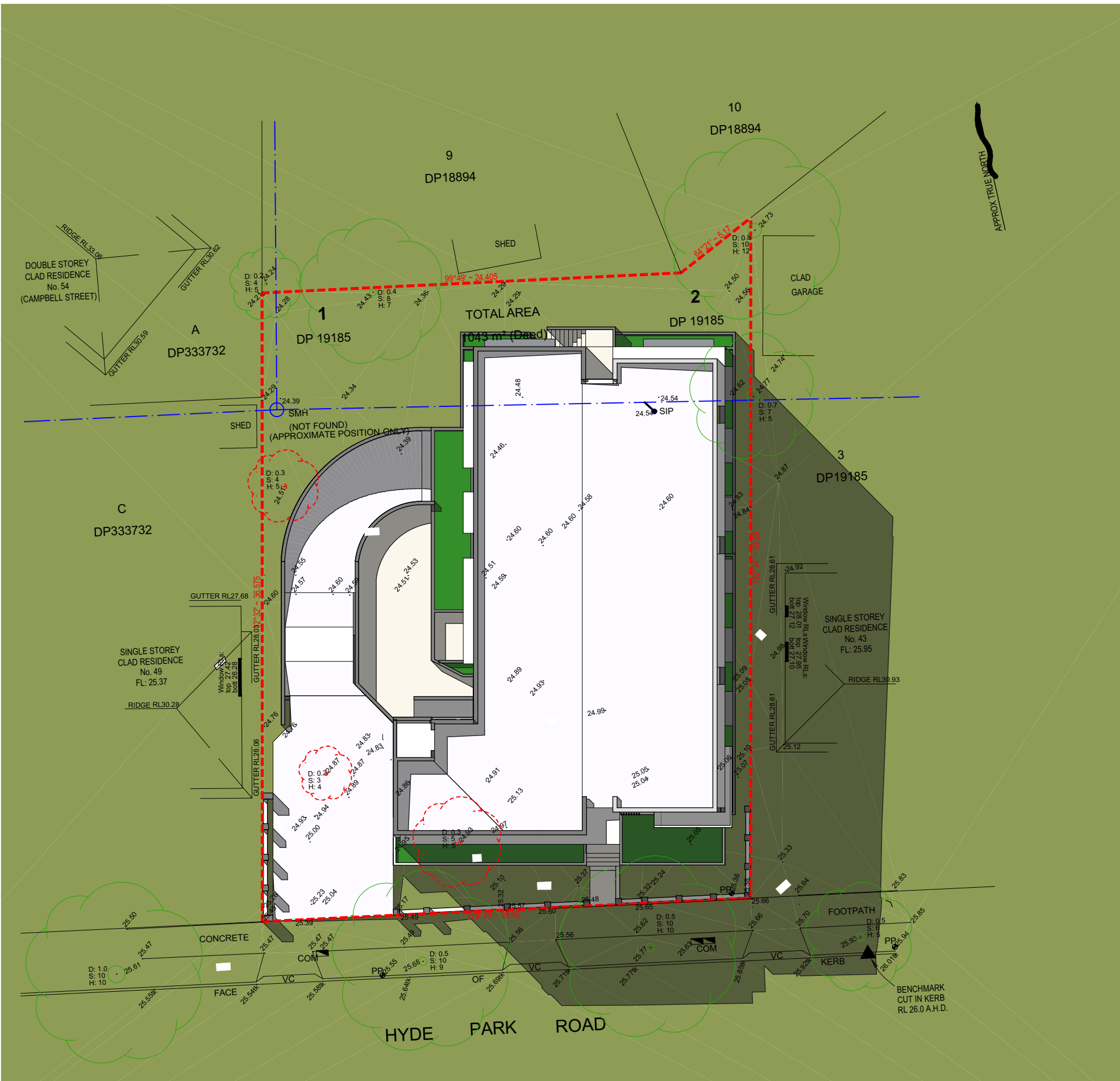
Scale 1:100 @ A1 sheet size 50mm on original

Project number 18- 31 Drawing number 4001 Status E Revision

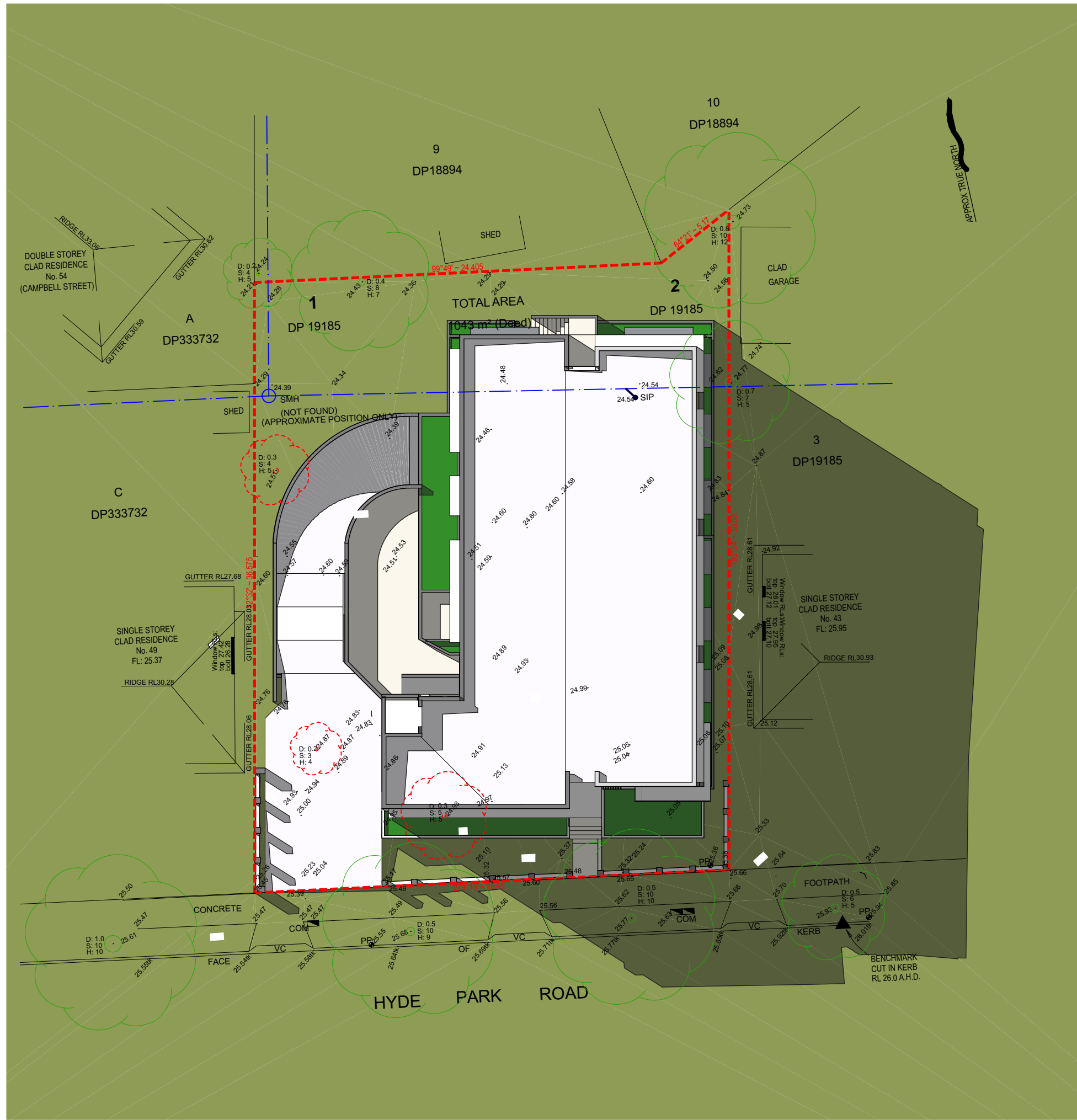
DA APPLICATION



1 JUNE 21ST, 1PM 1:250



1 JUNE 21ST, 2PM 1:250



1 JUNE 21ST, 3PM 1:250

E	AMEND AS PER COUNCIL REQUEST	20/12/2018
D	AMEND AS PER COUNCIL REQUEST	23/07/2018
C	DA - AMEND BASEMENT	23/06/2018
B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	Date

Project
45 - 47 HYDE PARK ROAD, BERALA

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
p 02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

Nominated Architects:
Ziad Boumelhem Reg:8008
Youssef El Khawaja Reg:8933
Nicolas Toubia Reg:9336

Drawing title

JUNE EQUINOX

Date generated 20/12/2018 M.P. Drawn Z.B. Checked

Scale 1:100
@ A1 sheet size 50mm on original

Project number 18- 31 Drawing number 4002 Revision E
Status

DA APPLICATION

SCHEDULE OF EXTERNAL FINISHES FOR PROPOSED BOARDING HOUSE DEVELOPMENT @ 45 - 47 HYDE PARK ROAD , BERALA ,NSW



AS SEEN FROM HYDE PARK RD. LOOKING NORTH



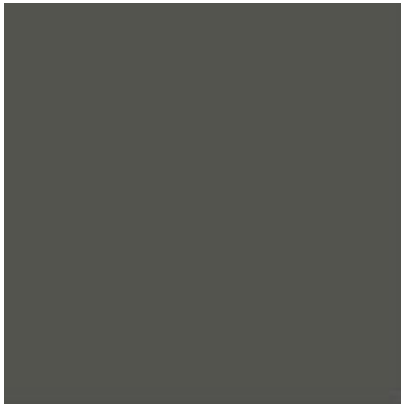
BLACK FRAMED
SEMI TRANSPARENT
GLASS BALUSTRADE
OR SIMILAR

H



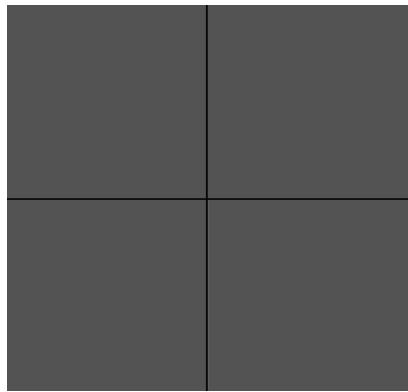
ALUMINIUM FRAMED
WINDOWS & DOORS
STEGBAR CHARCOAL

G



SHEET METAL ROOF
COLOURBOND
WOODLAND GREY

F



FINISHED STENCILLED
CONCRETE OR SIMILIAR

E

COLOURS ARE INDICITATIVE ONLY AND MAY VARY DUE TO AVAILABILITY

ALL PAINT BY DULUX TO BE
RENDERED AND PAINTED



AUSTRAL BRICKS
CHISEL STONE

A



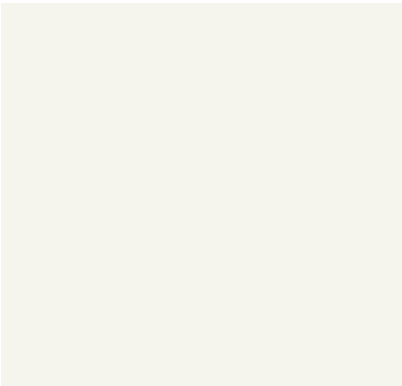
RENDER AND PAINT
DULUX - RAKU

B



RENDER & PAINT FINISH
DULUX - CELTIC SKY

C



RENDER & PAINT FINISH
DULUX VIVID WHITE PN2-B6

D

B	DA SUBMISSION	17/05/2018
A	Client Sketch	02/05/2018
Issue	Amendment	

Project
45 - 47 HYDE PARK ROAD, BERALA

URBAN LINK PTY LTD
LEVEL 10, 11-15 DEANE ST,
BURWOOD NSW 2134
P.O.BOX 2223, BURWOOD NORTH
NSW 2134
p 02-9745 2014 f 02-9745 0984
e info@urbanlink.com.au

Nominated Architects:
Ziad Boumelhem
Youssef El Khawaja
Nicolas Toubia
Reg:8008
Reg:8933
Reg:9336

Drawing title

FINISHES SCHEDULE

Date generated 17/05/2018 M.P. Drawn Z.B. Checked Z.B.
Scale 1:100 @ A1 sheet size 50mm on original

Project number 18- 31 Drawing number 6301 Revision B

DA APPLICATION